

WHITE COUNTY BOARD OF COMMISSIONERS

PUBLIC HEARING & REGULAR MEETING

MONDAY, DECEMBER 4, 2023 AT 4:00 P.M.

AGENDA

1. Call to order.
2. Pledge of Allegiance.
3. Invocation – Student Ministries Pastor Garrett Kersey, The Bridge Church & White County Ministerial Alliance.
4. Consider adoption of the minutes of the following meetings:
 - November 6, 2023 Regular Meeting;
 - November 16, 2023 Called Meeting; and
 - November 27, 2023 Work Session & Called Meeting.

Public Hearing

5. Conduct a public hearing receive in order to receive comments on the proposed revisions to short-term rental regulations (County Code Chapter 16, Short-Term Rental Host License) for the unincorporated area of White County.

New Business

6. Consider proposals received for renovations to Fire Stations 6 (Hwy 129 N) & 4 (Westmoreland Road) to accommodate 24-hour personnel and use.

Other Items

7. Ms. Jodi Ligon, Finance Director, to present the monthly financial status report.
8. County Manager Comments.
9. Public Comment.
10. Announcements:
 - Monday, December 11, 2023 at 9:00 a.m. – Called Meeting
 - Tuesday, December 12, 2023 – County Offices Closed 11:30 a.m. to 1:30 p.m. for Employee Luncheon
 - Thursday, December 14, 2023 at 9:00 a.m. – Called Meeting
 - Monday, December 25 & Tuesday, December 26, 2023 – County Offices Closed, Christmas Holidays
 - Monday, January 1, 2024 – County Offices Closed, New Years Holiday
 - No Board of Commissioners Meeting – Monday, December 25, 2023 or Monday, January 1, 2024 •
 - Monday, January 8, 2024 at 4:30 p.m. - Board of Commissioners Work Session & Regular Meeting
11. Adjourn.

WHITE COUNTY BOARD OF COMMISSIONERS

MINUTES OF THE CALLED MEETING HELD

THURSDAY, NOVEMBER 16, 2023 AT 9:00 A.M.

The White County Board of Commissioners held a Called Meeting on Thursday, November 16, 2023 at 9:00 a.m. in the Board Room at the Administration Building. Present for the meeting were: Chairman Travis Turner, Commissioner Lyn Holcomb, Commissioner Edwin Nix, Commissioner Craig Bryant, County Manager Billy Pittard, Finance Director Jodi Ligon, and County Clerk Shanda Murphy. Commissioner Goodger was absent from the meeting due to travel.

Chairman Turner called the meeting to order. He explained that the seven (7) short-term rental related land use applications being considered were all part of the 43 applications in total which were in process when the short-term rental moratorium went into effect on October 2, 2023 and the county is required to allow those in process to continue through the process under the current regulations.

Mr. John Sell, Director of Community & Economic Development, presented the land use application filed by Pam Collins to request a conditional use permit at 482 Monroe Ridge Sautee Nacoochee, Georgia - tax map and parcel 069-584 / total acreage is 1.00. The proposed use is to place in a short-term rental program. The present zoning is R-1, Residential Single-Family District. He stated this was located in a subdivision with covenants that do allow short-term rentals, the Planning Commission held the public hearing on the application, there was no opposition to the application, and the Planning Commission recommended approval of the application. Mr. Sell did advise that Ms. Collins had been operating the short-term rental for 17 years and did not know she needed to be licensed by the county, however Airbnb had been paying the lodging taxes collected on the rental since 2021 when the state enacted the marketplace facilitator law. Commissioner Bryant questioned if Ms. Collins had commercial insurance and she assured him that she does.

Upon a motion made by Commissioner Bryant, seconded by Commissioner Nix there was a unanimous vote to approve the land use application filed by Pam Collins for a conditional use permit at 482 Monroe Ridge Sautee Nacoochee, Georgia - tax map and parcel 069-584 / total acreage is 1.00. The approved use is to place in a short-term rental program within the present zoning is R-1, Residential Single-Family District.

Mr. Sell presented the land use application filed by Daryll Lovell, on behalf of Generation Church of North Georgia, to request a conditional use permit on Duncan Bridge Road Cleveland, Georgia - tax map and parcel 077-171 / total acreage is 3.39. The proposed use is for a place of worship. The present zoning is C-1, Community Commercial District. He advised that the church was established about nine (9) years ago and this would be an expansion on a separate property located on the same road as the existing church. He stated that the new facility would accommodate 250 people and 100 vehicles. The Planning Commission held a public hearing on the application, there was no opposition, and the Planning Commission recommended approval of the application. Pastor Darryl Lovell stated that the property had been gifted to the church and they would be constructing a new sanctuary and fellowship hall.

Upon a motion made by Commissioner Holcomb, seconded by Commissioner Bryant there was a unanimous vote to approve the land use application filed by Daryll Lovell, on behalf of Generation Church of North Georgia, for a conditional use permit on Duncan Bridge Road Cleveland, Georgia - tax map and parcel 077-171 / total acreage is 3.39. The approved use is for a place of worship. The present zoning is C-1, Community Commercial District.

Mr. Sell presented the land use application filed by Susan Cabrera to request a conditional use permit at 3377 Town Creek Road Cleveland, Georgia - tax map and parcel 020-015 / total acreage is 2.28. The proposed use is to place in a short-term rental program. The present zoning is R-1, Residential Single-Family District. He advised

that the property is located in a subdivision without covenants and Ms. Cabrera had obtained the required signatures of support. The Planning Commission held a public hearing on the application, there was no opposition, and the Planning Commission recommended approval of the application. Ms. Cabrera stated that she had been operating the short-term rental since 2020 and recently received notice of the county's requirements. She stated that her neighbors like the short-term rental because it is vacant most of the time.

Upon a motion made by Commissioner Nix, seconded by Commissioner Holcomb there was a unanimous vote to approve the land use application filed by Susan Cabrera for a conditional use permit at 3377 Town Creek Road Cleveland, Georgia - tax map and parcel 020-015 / total acreage is 2.28. The approved use is to place in a short-term rental program within the present zoning is R-1, Residential Single-Family District.

Mr. Sell presented the land use application filed by Jim Patton to request a conditional use permit at 24 Luke Road Cleveland, Georgia - tax map and parcel 061-146N / total acreage is 1.50. The proposed use is to place in a short-term rental program. The present zoning is R-1, Residential Single-Family District. He advised that it is not located in a subdivision and the house is currently under construction. The Planning Commission held a public hearing on the application, there was no opposition, and the Planning Commission recommended approval of the application. Mr. Patton said he believed this was an ideal place for a short-term rental due to the amazing views and proximity to the winery, he does plan to asphalt the driveway, and is looking to use a local rental management company.

Upon a motion made by Commissioner Holcomb, seconded by Commissioner Nix there was a unanimous vote to approve the land use application filed by Jim Patton for a conditional use permit at 24 Luke Road Cleveland, Georgia - tax map and parcel 061-146N / total acreage is 1.50. The approved use is to place in a short-term rental program within the present zoning is R-1, Residential Single-Family District.

Mr. Sell presented the land use application filed by Erik Perrine to request a conditional use permit at 242 Eagles Nest Road Sautee Nacoochee, Georgia - tax map and parcel 068-144A / total acreage is 1.00. The proposed use is to place in a short-term rental program. The present zoning is R-1, Residential Single-Family District. He stated the property is located in a subdivision without covenants and Mr. Perrine had obtained the required number of signatures of support. The Planning Commission held a public hearing on the application, there was no opposition, and the Planning Commission recommended approval of the application. Mr. Perrine said that he plans to eventually retire to White County and operation of this short-term rental would help to finance that retirement. He stated that he and his family would be utilizing the rental themselves about once per month and he would be utilizing Vacasa. He also indicated that two-thirds of the homes in the subdivision are operated as short-term rentals. Chairman Turner advised him of the three (3) strike rule that his host license will be subject to if there are issues with the rental.

Upon a motion made by Commissioner Bryant, seconded by Commissioner Nix there was a unanimous vote to approve the land use application filed by Erik Perrine for a conditional use permit at 242 Eagles Nest Road Sautee Nacoochee, Georgia - tax map and parcel 068-144A / total acreage is 1.00. The approved use is to place in a short-term rental program within the present zoning of R-1, Residential Single-Family District.

Mr. Sell presented the land use application filed by Frank Liesen to request a conditional use permit at 89 Small Pond Drive Cleveland, Georgia - tax map and parcel 060D-039 / total acreage is 5.09. The proposed use is to place in a short-term rental program. The present zoning is R-1, Residential Single-Family District. He stated the Planning Commission held a public hearing on the application, there was opposition to the application, and the Planning Commission recommended denial of the application. He advised that Mr. Liesen's plat showed his

property was part of a five-lot subdivision, four of which he owns. However, Planning Commission member Dona K. Burke located an older plat which showed the property to be part of a larger subdivision which had covenants associated with it dated 1977. The County Attorney, Mary Jane Henneke, reviewed the information and advised that it was legally valid for the county to utilize the most recent plat in this case, however the Planning Commission chose to base their recommendation on the older plat due to the opposition. Mr. Liesen said he and his wife had worked as missionaries for many years and were often blessed by those who would allow them to utilize their property for rest and relaxation. He said they wanted to be able to do the same for others and being able to operate these two (2) homes as a short-term rental would finance their ability to offer this free of charge to other missionaries. Mr. Liesen said there was no reference in his deed, plat, or at closing to any covenants and he had already paid the voluntary road maintenance fee. Mr. Pittard stated that the Board needed to define which plat takes precedent in this case as it relates to the signature he is required to obtain.

Upon a motion made by Commissioner Bryant, seconded by Commissioner Holcomb there was a unanimous vote to table the land use application filed by Frank Liesen to request a conditional use permit at 89 Small Pond Drive Cleveland, Georgia - tax map and parcel 060D-039 / total acreage is 5.09. The proposed use is to place in a short-term rental program within the present zoning is R-1, Residential Single-Family District in order to provide Mr. Liesen an opportunity to obtain the required signatures of support based on all lots as exists today.

Mr. Sell presented the land use application filed by Frank Liesen to request a conditional use permit at 91 Small Pond Drive Cleveland, Georgia - tax map and parcel 060D-039 / total acreage is 5.09. The proposed use is to place in a short-term rental program. The present zoning is R-,1 Residential Single-Family District. The same information discussed in the previous agenda item (see above) was true for this item as well.

Upon a motion made by Commissioner Bryant, seconded by Commissioner Holcomb there was a unanimous vote to table the land use application filed by Frank Liesen to request a conditional use permit at 91 Small Pond Drive Cleveland, Georgia - tax map and parcel 060D-039 / total acreage is 5.09. The proposed use is to place in a short-term rental program within the present zoning is R-1, Residential Single-Family District in order to provide Mr. Liesen an opportunity to obtain the required signatures of support based on all lots as exists today.

Mr. Sell presented the land use application filed by Paige Hulsey, on behalf of Donald Weideman, to redistrict property located on Honeybrook Lane Cleveland, Georgia from R-1, Residential Single-Family District to R-3, Residential Seasonal District -tax map and parcel 077-090 / total acreage is 5.00. He stated the Planning Commission held a public hearing on the application, there was opposition to the application, and the Planning Commission recommended denial of the application based on the access being by easement across other's property and an RV park not fitting into the agricultural zoning. He advised that Ms. Hulsey's short-term rental had been identified by the Host Compliance Software as a non-compliant short-term rental and she responded to the notice she received to this effect. He said she has one (1) park model that she rents and is in the process of adding two (2) more (the minimum for an RV Park would be three (3)). Since the park models have RV stamps and are not allowed in R-1 zoning, she was required to apply for the R-3 zoning as an RV park. Ms. Hulsey said she was Mr. Weideman's adopted granddaughter and he had asked her not to place him in a convalescent home, so she began operating the short-term rental for income so she could stay in the home and take care of him. She said she is working on another access rather than the easement, she has been renting since April, she believes her business is a good addition to the community due to the wedding venues in the area and is willing to abide by any conditions the Board may choose to place on the approval. Mr. Sell did confirm that Ms. Hulsey had not obtained the required permits on the existing tiny home.

November 16, 2023 – Called Meeting Minutes (continued)

Upon a motion made by Commissioner Holcomb there was a vote to approve the land use application filed by Paige Hulsey, on behalf of Donald Weideman, to redistrict property located on Honeybrook Lane Cleveland, Georgia from R-1, Residential Single-Family District to R-3, Residential Seasonal District -tax map and parcel 077-090 / total acreage is 5.00 with the following conditions: no longer access by the current easement being used and no more than three (3) tiny homes / RV's/ park models on the property. The motion made by Commissioner Holcomb died for lack of a second.

Upon a motion made by Commissioner Bryant, seconded by Commissioner Nix there was a motion to deny the land use application filed by Paige Hulsey, on behalf of Donald Weideman, to redistrict property located on Honeybrook Lane Cleveland, Georgia from R-1, Residential Single-Family District to R-3, Residential Seasonal District -tax map and parcel 077-090 / total acreage is 5.00 – due to an RV Park not fitting into the farming community. Chairman Turner voted in favor of the motion to deny. Commissioner Holcomb opposed the motion to deny. The motion to deny passed by a 3-1 vote.

Mr. David Murphy, Director of Public Safety, presented the bids received for purchase and installation of HVAC for Fire Station 6 on Hwy 129N as part of the proposed renovation plan to accommodate 24-hour shift personnel. He recommended the contract be awarded to the low bidder, A&A Electric for \$12,612.00.

Upon a motion made by Commissioner Nix, seconded by Commissioner Bryant there was a unanimous vote to award the contract for purchase and installation of HVAC for Fire Station 6 on Hwy 129N as part of the proposed renovation plan to accommodate 24-hour shift personnel to A&A Electric in the amount of \$12,612.00 – to be funded by SPLOST.

Upon a motion made by Commissioner Bryant, seconded by Commissioner Nix, there was a unanimous vote to adjourn the meeting.

The minutes of the November 16, 2023 Called Meeting were approved as stated this 4th day of December, 2023.

WHITE COUNTY BOARD OF COMMISSIONERS

Travis C. Turner, Chairman

Terry D. Goodger, District 1

Lyn Holcomb, District 2

Edwin Nix, District 3

Craig Bryant, District 4

Shanda Murphy, County Clerk

WHITE COUNTY BOARD OF COMMISSIONERS

MINUTES OF THE WORK SESSION & CALLED MEETING HELD

MONDAY, NOVEMBER 27, 2023 AT 4:30 P.M.

The White County Board of Commissioners held a Work Session & Called Meeting on Monday, November 27, 2023 at 4:30 p.m. in the Board Room at the Administration Building. Present for the meeting were: Chairman Travis C. Turner, Commissioner Terry Goodger, Commissioner Lyn Holcomb, Commissioner Edwin Nix, Commissioner Craig Bryant, County Manager Billy Pittard, Finance Director Jodi Ligon, and County Clerk Shanda Murphy.

Chairman Turner called the meeting to order.

The White County Recreation Department was recognized for being named “Georgia Recreation & Parks Association 7th District Agency of the Year”.

Chairman Turner read the following statement from the meeting agenda “NOTE: In reference to land use agenda items #3 - #10 – Georgia Zoning Procedures Law (O.C.G.A. 36-66-1, et seq.) requires a public hearing be advertised and held prior to any proposed zoning decision with a minimum of 10 minutes (per side) for both proponents and opponents to present data, evidence, and opinion. This requirement was met for the following items at the public hearing held at the Planning Commission Meeting on October 30 / 31, 2023. All information presented was then forwarded to the Board of Commissioners”.

Mr. Sell presented the land use application filed by April James to redistrict property located at 964 Rabun Road Sautee Nacoochee, Georgia from R-1 Residential Single-Family District and C-1 Community Commercial District to C-2 Highway Business District. Tax map and parcel 071-147A. Total acreage is 22.17. He advised the Planning Commission held the public hearing on the application, there was both support and opposition expressed at the hearing (more opposition than support due to concerns of traffic, unlimited growth, etc.), and the Planning Commission voted 4-2 to recommend approval of the application with no limitations / conditions. Mr. Sell stated that Ms. James (and prior owners) of Lucille’s Mountaintop Inn had operated as a bed & breakfast and the property had been zoned as C-1, Community Commercial District when land use was implemented, however a bed & breakfast would be a non-conforming use in C-1 therefore this rezoning would bring the property from a non-conforming use to a permitted use. The additional property Ms. James acquired is zoned R-1, Residential Single-Family District and does require reclassification for development. He advised that Ms. James was requesting the rezoning to come into conformance, to reclassify her business as a boutique hotel, to provide her more competitive insurance options, and to allow for the relocation of the spa from the existing inn to the additional property purchased while being able to increase the size of the spa from 2,000 square feet to 3,000 square feet. Mr. Sell also confirmed that about 15% of the newly acquired property is in Mountain Protection, which would require the development of a plan for meeting the criteria of the Mountain Protection Act. Ms. April James and Mr. Steve Smith spoke on behalf of the application. Ms. James explained the secluded nature of Lucille’s Mountain Top Inn, the support her business provides for the local economy, and her commitment to not bringing a large development to the location. She spoke about the current limitations of septic, topography, lack of storage etc. She indicated that she planned to convert the current spa area to guest rooms once the spa was relocated and at some point, she may convert some of the large guest rooms to smaller rooms, however the footprint of the current building would not change. There was discussion regarding all the permitted uses in C-2 and the concerns of the community and the Board that the property not be rezoned to allow for all those potential uses. Ms. Smith stated that she would agree to limit the uses of the property to those denoted as 33. Health clubs and spas, 36. Hotels, motels, and other lodging type inns, and 58. Tourist shops, retail, dining, services, winery tasting rooms, and outdoor recreation. Commissioner Bryant expressed concern

regarding the access via Rabun Road to the inn. Mr. Smith advised that he had conducted a traffic study and only approximately 2.28% of the traffic on Rabun Road accessed the inn. He provided several other examples of C-2 properties located off county roads. He also stated that when the inn was originally built and for many years thereafter, Rabun Road had been a dirt road, and it was just within the last few years that the county had paved the road.

Commissioner Bryant made a motion to deny the application due to concerns with the access. There was no second and the motion died for lack of a second.

Upon a motion made by Commissioner Holcomb, seconded by Commissioner Goodger there was a vote to approve the land use application filed by April James to redistrict property located at 964 Rabun Road Sautee Nacoochee, Georgia from R-1 Residential Single-Family District and C-1 Community Commercial District to C-2 Highway Business District. Tax map and parcel 071-147A. Total acreage is 22.17. Present zoning is R-1 Residential Single-Family District and C-1 Community Commercial District – with the rezoning approval to be limited to permitted uses denoted as #33, #36, #58 in Section 1401 of the White County Land Use Code (being 33. Health clubs and spas, 36. Hotels, motels, and other lodging type inns, and 58. Tourist shops, retail, dining, services, winery tasting rooms, and outdoor recreation.) and the new spa facility being limited to 3,500 square feet. Commissioner Nix and Chairman Turner voted in favor of the motion. Commissioner Bryant opposed the motion. The motion passed by a 4-1 vote.

Mr. Sell presented the land use application filed by Jeff Nix, on behalf of Douglas Nix, to redistrict property located at 0 Hwy 115 East Cleveland, Georgia from R-1 Residential Single-Family District to C-2 Highway Business District. Tax map and parcel 047D-159. Total acreage is 7.42. He stated that the Planning Commission held the public hearing for the application, there was no opposition to the application, and the Planning Commission recommended approval of the application. He advised that the owners were planning to sell the property and wanted to have the zoning changed for marketability. Mr. Jeff Nix advised that he had already sold the adjacent property which was zoned C-2, and he was planning to sell this property as well.

Upon a motion made by Commissioner Goodger, seconded by Commissioner Holcomb there was a unanimous to approve the land use application filed by Jeff Nix, on behalf of Douglas Nix, to redistrict property located at 0 Hwy 115 East Cleveland, Georgia from R-1 Residential Single-Family District to C-2 Highway Business District. Tax map and parcel 047D-159. Total acreage is 7.42.

Mr. Sell presented the land use application filed by Robert Edmonds to request a conditional use permit at 360 Miners Mountain Road Sautee Nacoochee, Georgia. Tax map and parcel 055D-024. Total acreage is 2.98. The proposed use is to place in a short-term rental program. He advised the property is located in a subdivision which allows short-term rentals, the Planning Commission held the public hearing for the application, there was no opposition to the application, and the Planning Commission recommended approval of the application. Mr. Sell advised that Mr. Edmonds had been renting the property, however had received the recent notices of non-compliance from the Business Tax Office, his lodging taxes since 2021 have been remitted to the county through VRBO and he self-manages the rental. Mr. Robert Edmonds confirmed the information presented, stating he is very active with the homeowner's association, and he planned to rent the property about 20 times per year.

Upon a motion made by Commissioner Bryant, seconded by Commissioner Nix there was a unanimous vote to approve the land use application filed by Robert Edmonds for a conditional use permit at 360 Miners Mountain

Road Sautee Nacoochee, Georgia. Tax map and parcel 055D-024. Total acreage is 2.98. The approved use is to place in a short-term rental program.

Mr. Sell presented the land use application filed by Diane Robertson to request a conditional use permit at 1071 Myra Branch Road Helen, Georgia. Tax map and parcel 042B-019. Total acreage is 0.70. The proposed use is to place in a short-term rental program. He advised that the property is not located in a subdivision, Ms. Robertson self manages the property with Airbnb and a local housekeeper, she had had been renting the property for about two years, however had received the recent notices of non-compliance from the Business Tax Office and her lodging taxes have been remitted to the county through Airbnb. He stated the Planning Commission held the public hearing on the application, there was no opposition, and the Planning Commission made a recommendation to approve the application. Ms. Diane Robertson said her parents purchased the property in the 1970's, she inherited the property, renovated the property, and was classified as a super host with Airbnb.

Upon a motion made by Commissioner Bryant, seconded by Commissioner Holcomb there was a unanimous vote to approve the land use application filed by Diane Robertson for a conditional use permit at 1071 Myra Branch Road Helen, Georgia. Tax map and parcel 042B-019. Total acreage is 0.70. The approved use is to place in a short-term rental program.

Mr. Sell presented the land use application filed by Paula Lembo and Loretta Martin to redistrict property located at 2227 Highway 17 Sautee Nacoochee, Georgia from C-1 Community Commercial District to R-1 Residential Single-Family District and to request a conditional use permit. Tax map and parcel 071-070. Total acreage is 0.93. The proposed use is to place in a short-term rental program. He advised the property is not located in the subdivision and has two (2) structures a "big" house and a "little house", with this request pertaining to the "big house" The Planning Commission held the public hearing on the application, there was no opposition, and the Planning Commission recommended approval of the application. Ms. Paula Lembo advised that her and her sister had inherited the property, and the "big" house is currently vacant. She lives five (5) minutes away and will be using VRBO and / or Airbnb.

Upon a motion made by Commissioner Bryant, seconded by Commissioner Nix there was a unanimous vote to approve the land use application filed by Paula Lembo and Loretta Martin to redistrict property located at 2227 Highway 17 Sautee Nacoochee, Georgia from C-1 Community Commercial District to R-1 Residential Single-Family District and for a conditional use permit. Tax map and parcel 071-070. Total acreage is 0.93. The approved use is to place in a short-term rental program.

Mr. Sell presented the land use application filed by Paula Lembo and Loretta Martin to redistrict property located at 2229 Highway 17 Sautee Nacoochee, Georgia from C-1 Community Commercial District to R-1 Residential Single-Family District and to request a conditional use permit. Tax map and parcel 071-070. Total acreage is 0.93. The proposed use is to place in a short-term rental program. He stated that this is the "little" house on this property (as relates to the previous agenda item). The Planning Commission held the public hearing on the application, there was no opposition, and the Planning Commission recommended approval of the application. Ms. Paula Lembo advised that her and her sister had inherited the property and the "little" house has a current resident living there, however they do plan to operate the property as a short-term rental in the future. She lives five (5) minutes away and will be using VRBO and / or Airbnb.

Upon a motion made by Commissioner Bryant, seconded by Commissioner Goodger there was a unanimous vote to approve the land use application filed by Paula Lembo and Loretta Martin to redistrict property located at 2229 Highway 17 Sautee Nacoochee, Georgia from C-1 Community Commercial District to R-1 Residential

Single-Family District and for a conditional use permit. Tax map and parcel 071-070. Total acreage is 0.93. The approved use is to place in a short-term rental program.

Mr. Sell presented the land use application filed by Jay Westmoreland to request a conditional use permit at 183 Patrick Lane Helen, Georgia. Tax map and parcel 041-044. Total acreage is 3.01. The proposed use is to place in a short-term rental program. He stated the property is not located in a subdivision, the owner is local and utilizes VRBO, the property had been rented for the past few years with the owner now looking to get into compliance, lodging taxes had been remitted via VRBO, the Planning Commission held a public hearing on the application, there was no opposition at the public hearing and the Planning Commission recommended approval of the application. Ms. Kim Westmoreland confirmed the information presented.

Upon a motion made by Commissioner Goodger, seconded by Commissioner Holcomb there was a unanimous vote to approve the land use application filed by Jay Westmoreland for a conditional use permit at 183 Patrick Lane Helen, Georgia. Tax map and parcel 041-044. Total acreage is 3.01. The approved use is to place in a short-term rental program.

Mr. Sell presented the land use application filed by Georgianna “Emma” Stoica to request a special use permit at 4564 Highway 255 South Cleveland, Georgia. Tax map and parcel 074-130. Total acreage is 5.29. The proposed use is for a personal care home/ group home. The present zoning is A-1 Agriculture Forestry District. He stated that Ms. Stocia planned to care for the elderly and hospice patients – working with only one (1) hospice agency. The Planning Commission held a public hearing on the application, the only concerns expressed were that there not be any large signs and it was emphasized that the special use permit does not remain with the property if there is a change in ownership. Ms. Emma Stocia confirmed there would be a maximum of six (6) residents, she had operated other personal care homes, there would always be a caregiver at the facility, and she would be inspected and permitted by the Georgia Department of Community Health.

Upon a motion made by Commissioner Goodger, seconded by Commissioner Holcomb there was a vote to approve the land use application filed by Georgianna “Emma” Stoica for a special use permit at 4564 Highway 255 South Cleveland, Georgia. Tax map and parcel 074-130. Total acreage is 5.29. The approved use is for a personal care home/ group home. Commissioner Nix and Chairman Turner voted in favor of the motion. Commissioner Bryant opposed the motion. The motion passed by a 4-1 vote.

Mr. Bryan Payne, Chief Appraiser, presented a request to enter into a contract with McCormick Solutions for analysis of the CAMA (Computer Assisted Mass Appraisal) data to improve the sales ratio with the Georgia Department of Audits and Accounts. He indicated that his department needed some extra help coming into compliance with sales ratio requirements. He advised that White County had not met the required sales ratio for the past two (2) years and with 2024 being a review year – if the sales ratio was not met for a third year the county would be penalized. Mr. Payne stated that approximately 70% of Georgia counties are in the same situation due to the currently inflated real estate market.

Upon a motion made by Commissioner Goodger, seconded by Commissioner Bryant there was a unanimous vote to approve entering into a contract with McCormick Solutions for analysis of the CAMA (Computer Assisted Mass Appraisal) data to improve the sales ratio with the Georgia Department of Audits and Accounts – with the cost of the contract being \$38,600.00 and being funded through the Assessor’s Office budget.

Mr. Derick Canupp, Director of Public Works, presented the 2024 LMIG (Local Maintenance & Improvement Grant) grant application through GDOT (Georgia Department of Transportation). He advised that White County

would receive \$476,005.00 and recommended the county contribute approximately \$1,022,276.65 from SPLOST in order to patch Albert Reid Road, Kinsey Town Road, and level / overlay Adair Mill Road. He advised that bids for the projects would be brought before the Board for approval at a later date once the grant funds were received.

Upon a motion made by Commissioner Nix, seconded by Commissioner Holcomb there was a unanimous vote to approve the 2024 LMIG (Local Maintenance & Improvement Grant) grant application through GDOT (Georgia Department of Transportation).

Ms. Jodi Ligon, Finance Director, presented bids received for two CD's (certificates of deposit). Following discussion, it was determined that the best option was to move these funds into the operating account at United Community Bank, with funds being segregated as required for accounting records, since this operating account was earning 5.25% interest.

Upon a motion made by Commissioner Goodger, seconded by Commissioner Nix there was a unanimous vote to move the two (2) CD's which are maturing at United Community Bank (\$693,000.00 – General Fund & \$35,500 – Solid Waste) to the operating account at United Community Bank.

The agenda for the December 4, 2023 Regular Meeting was discussed and announcements were made.

Upon a motion made by Commissioner Bryant, seconded by Commissioner Nix, there was a unanimous vote to adjourn the meeting.

The minutes of the November 27, 2023 Work Session & Called Meeting were approved as stated this 4th day of December, 2023.

WHITE COUNTY BOARD OF COMMISSIONERS

Travis C. Turner, Chairman

Terry D. Goodger, District 1

Lyn Holcomb, District 2

Edwin Nix, District 3

Craig Bryant, District 4

Shanda Murphy, County Clerk

WHITE COUNTY BOARD OF COMMISSIONERS
MINUTES OF THE REGULAR MEETING HELD
MONDAY, NOVEMBER 6, 2023 AT 4:30 P.M.

The White County Board of Commissioners held a Regular Meeting on Monday, November 6, 2023 at 4:30 p.m. in the Board Room at the Administration Building. Present for the meeting were: Chairman Travis Turner, Commissioner Terry Goodger, Commissioner Lyn Holcomb, Commissioner Edwin Nix, Commissioner Craig Bryant, County Manager Billy Pittard, Finance Director Jodi Ligon, and County Clerk Shanda Murphy.

Chairman Turner called the meeting to order.

Following the Pledge of Allegiance, Rev. Dennis Turner – Cleveland First Baptist Church / White County Ministerial Alliance – provided the invocation.

Upon a motion made by Commissioner Bryant, seconded by Commissioner Nix there was a unanimous vote to adopt the minutes of the following meetings: October 2, 2023 Regular Meeting, October 16, 2023 Called Meeting & Executive Session, and October 30, 2023 Work Session & Called Meeting.

Ms. Cindy Levi, Avita Community Partners CEO, presented information on Avita, the assistance they provide to residents of White County, and resources available (see meeting file for presentation). Ms. Sharon Bucek, White County’s appointed representative on the Avita Board of Directors, joined Ms. Levi. The Board of Commissioners expressed their appreciation to Ms. Bucek for representing White County on this Board.

Mr. David Murphy, Director of Public Safety and Mr. Mike Lefevre, Fire Chief, presented Neighborhood Hero awards to three (3) firefighters who witnessed and responded to a cardiac arrest on October 6, 2023. He noted that their quick response resulted in a positive outcome for the patient. The firefighters recognized were Lanier Swafford, Lon Gilbert, and Candice Humphries. Five (5) citizens were also honored for their reaction to a house explosion that occurred on Gunns Circle on October 8, 2023. The neighbor’s responded and pulled the wife, husband, and child to safety. The citizens recognized were Colt Stovall, Wayne Lovell, Will London, Ryan London, and Tony Hooper. Ms. Kelcie McClellon, one of the three (3) rescued expressed her gratitude to those whose’ s brave and quick action resulted in her family’s safe exit from the explosion.

Mr. Clay Pilgrim, Rushton & Company, presented the Fiscal Year 2022-2023 Financial Audit Report.

Report to the Board of Commissioners
For the fiscal year ended June 30, 2023



November 6, 2023

AUDIT OPINION – Pages 1-3

Unmodified Opinion

In our opinion, the financial statements present fairly, in all material respects, the financial position of White County, Georgia as of June 30, 2023, and the respective changes in financial position and, where applicable, cash flows for the year then ended.

Auditing Standards

We audited the County's financial statements in accordance with auditing standards generally accepted in the United States of America and *Government Auditing Standards* issued by the Comptroller General of the United States.

White County's Responsibilities

The financial statements are the responsibility of White County's management.

Rushton's Responsibilities

As independent auditors for White County, our responsibility is to express opinions on the fair presentation of the financial statements.



Government-wide Statements – Pages 15-17

These statements provide the reader with information on the County as a whole, using the full accrual basis of accounting. Columns for the governmental activities, the business -type activities, and the component unit.

Two statements:

Statement of Net Position – Pages 15 - 16

- Presents the assets, liabilities, and residual net position of the County

Statement of Activities – Page 17

- Presents the results of operations of the County



Net Position – Last 5 Fiscal Years

Year	Assets	Net Position	Net Position	Net Position	Expenses	
2019	\$ 40,299,117	\$ 5,535,740	\$ 5,494,004	\$ 51,328,861	\$ 1,942,074	1
2020	41,760,259	5,969,995	6,483,556	54,213,810	2,884,949	2
2021	41,503,592	7,269,753	9,757,776	58,531,121	4,317,311	3
2022	43,519,085	6,642,762	18,893,723	69,055,570	10,524,449	4
2023	47,658,838	7,093,875	19,516,428	74,269,141	5,213,571	5

- 1 Increase in property and sales taxes; increase in salaries and wages and repairs and maintenance
- 2 Increase in property taxes and sales taxes; expenses remained similar to prior fiscal year
- 3 Increase in sales, hotel/motel, and property taxes; increase in operating grants (CARES Act); increase in public works expenses due to storm damage repairs and road maintenance; increase in health insurance premiums
- 4 Increase in sales, hotel/motel, and property taxes; increase in operating grants (ARPA)
- 5 Increase in sales taxes; decrease in operating grants (ARPA); increase in salaries and wages



General Fund

Revenues

- Increased \$1,997,553, 8.8%
 - Property taxes increased \$193,846
 - Local option sales taxes increased \$291,137
 - Interest increased \$586,170
 - Intergovernmental increased \$388,702

Expenditures

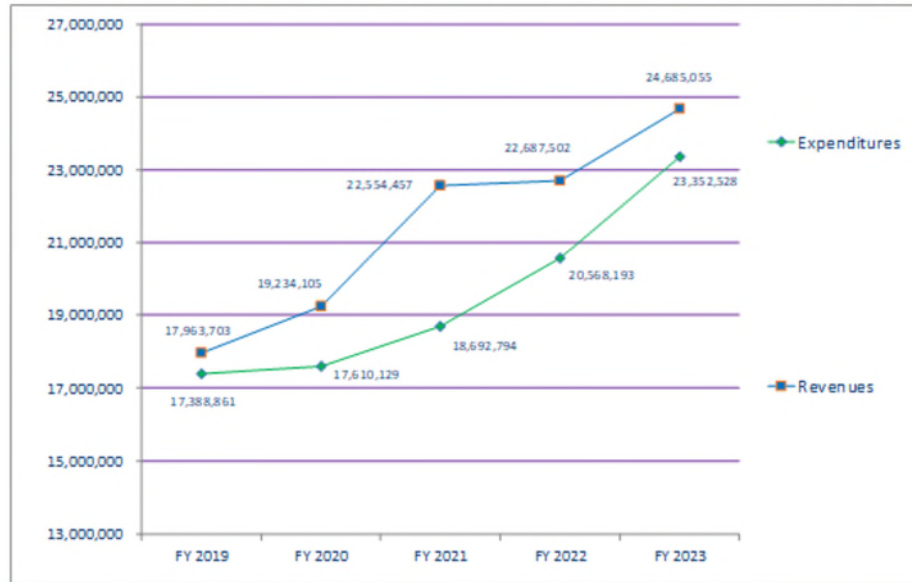
- Increased \$2,784,335, 13.5%
 - Fire expenditures up \$750,060 (personal services up \$608,378)
 - Sheriff expenditures up \$547,633 (personal services up \$416,421)
 - Detention Center expenditures up \$248,083 (personal services up \$195,586)
 - Park & Recreation expenditures up \$687,080 (personal services up \$263,370 and capital outlay up \$324,293)

Unassigned Fund Balance – Page 18 of the ACFR

- FY 2023, \$13,614,319, 58.3% of expenditures (7.0 months)
- FY 2022, \$15,519,718, 75.5% of expenditures (9.1 months)



General Fund Revenues and Expenditures – Last 5 Fiscal Years



Schedule of Projects Financed with Special Purpose Local Option Sales Tax – Pages 125-127

\$8,640,693 Expended

- \$535 for 2008 Referendum
- \$47,949 for 2014 Referendum
- \$8,592,209 for 2020 Referendum



Report on Internal Control and Other Matters– Pages 114-115

In accordance with *Government Auditing Standards*, we have issued our report on our consideration of White County's internal controls and our tests of compliance.

This report describes the scope of our testing of internal control and compliance, and the results of that testing, but is not intended to provide an opinion on the internal control or compliance.

No material weaknesses and 2 significant deficiencies were noted in the internal controls of White County.

No instances of material noncompliance or other matters were noted.



Report on Compliance and Internal Controls over Major Programs– Pages 116-118

In accordance with the Uniform Guidance, we have issued our report on our consideration of White County's compliance with requirements applicable to each major program and on internal control over compliance.

This report describes the scope of our testing of compliance requirements and internal controls over major programs, and the results of that testing. We are required to express an opinion on the County's compliance with requirements; our opinion is unmodified. This report is not intended to provide an opinion on the internal control.

No material weaknesses or significant deficiencies were noted in the internal controls of White County, Georgia over the compliance requirements applicable to the major programs.



Current Reporting Changes

GASB 96

The Governmental Accounting Standards Board (GASB) has issued Statement No. 96, *Subscription-Based Information Technology Arrangements*. Effective for White County for the fiscal year ending June 30, 2023.

The statement provides guidance on the accounting and financial reporting for subscription-based information technology arrangements (SBITA) for end-users (governments). The statement (1) defines a SBITA; (2) establishes that a SBITA results in a right-to-use subscription asset—an intangible asset—and a corresponding subscription liability; (3) provides the capitalization criteria for outlays other than subscription payments, including implementation costs of a SBITA; and (4) requires note disclosures regarding a SBITA. To the extent relevant, the standards for SBITAs are based on the standards established in Statement No. 87, *Leases*.



Future Reporting Changes

GASB 101

The Governmental Accounting Standards Board (GASB) has issued Statement No. 101, *Compensated Absences*. Effective for White County for the fiscal year ending June 30, 2025.

The statement replaces GASB Statement No. 16, *Accounting for Compensated Absences*. The goal of the standard is to create a more consistent model for accounting for compensated absences that can be applied to all types of compensated absence arrangements. The new standard also removes the current requirement to disclose both the gross additions and deductions to the liability.





Upon presentation of proclamation, November 16-22, 2023 was designated as “Farm-City Week in White County”. The proclamation was accepted on behalf of the White County agricultural community by Chamber President Beth Truelove and members of the Agri-Business Committee.

Ms. Kimberly McEntire, Director of Parks & Recreation, advised the Board that she had been able to obtain references for the low bidder on the shade structure project (this item had been tabled at a previous meeting in order to allow her to do so). She advised that the references were good, and she recommended awarding the contract to Shade America in the amount of \$79,610.00 which will provide shade structures for the bleachers and playground areas at Yonah Preserve.

Upon a motion made by Commissioner Goodger, seconded by Commissioner Holcomb, there was a unanimous vote to award the contract for the shade structure project at Yonah Preserve to Shade America in the amount of \$79,610.00 – to be funded by SPLOST.

Upon a motion made by Commissioner Nix, seconded by Commissioner Goodger there was a unanimous vote to approve the following board appointments:

- Board of Assessors – Mr. Warren Glover for a three (3) year term to expire December 31, 2026.
- Building Authority – Mr. Larry Freeman for a three (3) year term to expire December 31, 2026,
Mr. Russell Mobley for a three (3) year term to expire December 31, 2026,
Mr. Mully Ash for a two (2) year term to expire December 31, 2025, and
Mr. Marc Greene for a one (1) year term to expire December 31, 2024.

Ms. Jodi Ligon, Finance Director, presented the monthly Financial Status Report (see attached).

November 6, 2023 – Regular Meeting Minutes (continued)

During County Manager Comments, Mr. Pittard expressed appreciation to Ms. Ligon for her work demonstrated with the audit presentation. He also stated that the presentations made at the beginning of the meeting were great and he was proud to be a part of this community.

Chairman Turner asked that Mr. Pittard provide an update on the fill-in of the pool at the Recreation Department. Mr. Pittard stated that he was awaiting a quote from Charles Black Construction related to doing the fill-in with the equipment they already have onsite for the gym construction project. He also provided information on the upcoming bid process regarding operations of the Transfer Station.

Chairman Turner asked if the Commissioners had any comments. Commissioner Holcomb expressed appreciation for Ms. Ligon and to the Road Department for the paving on Campground Road. Commissioner Nix also expressed appreciation to Ms. Ligon and for those recognized during the presentations. Chairman Turner stated that the presentations demonstrate that biblical values remain in White County.

Chairman Turner opened the floor for public comment.

Ms. Lillian Hall stated that short-term rentals (STR's) had run their course White County and needed to be stopped. She said that if limits are set, there needs to be public participation. She said it is not right for the applicants to always get the last word in the Commission meeting, the public only gets to comment in the Planning Commission meetings, and the public does not elect the Planning Commission. She also stated that she did not understand why so many STR's were coming before the Board if a moratorium was in place.

Ms. Fio Weaver, stressed the importance of constitutional principles and submitted a typed comment for the record which was entered into the meeting file.

Mr. Mike Mays, asked the status of the proposed new fire station on Duncan Bridge Road. Chairman Turner advised that construction plans for the facility are in process and when the plans are complete, they will have a better idea on the timeline for the project.

Ms. Beth Truelove, encouraged participation on December 2, 2023 Christmas Parade.

With no additional public comments, Chairman Turner closed the floor.

Chairman Turner explained (in reference to Ms. Hall's comment) that the STR applications currently being heard were in process prior to the current moratorium and the county was required to allow those applicants to continue through the process under the current regulations.

Upon a motion made by Commissioner Goodger, seconded by Commissioner Holcomb, there was a unanimous vote to adjourn the meeting.

The minutes of the November 6, 2023 Regular Meeting were approved as stated this 4th day of December, 2023.

WHITE COUNTY BOARD OF COMMISSIONERS

Travis C. Turner, Chairman

Terry D. Goodger, District 1

Lyn Holcomb, District 2

Edwin Nix, District 3

Craig Bryant, District 4

Shanda Murphy, County Clerk

Chapter 16 SHORT-TERM RENTAL HOST LICENSE

Secs. 16-1—16-199. Reserved.

ARTICLE II. SHORT-TERM RENTAL HOST LICENSE

Sec. 16-200. Purpose.

The purpose of this article is to establish regulations for the use of a residential structure or part thereof as a short-term rental in order to support the White County Comprehensive Plan while minimizing the negative, secondary effects on surrounding properties, to ensure proper safety precautions are in place, to establish a rental host license and to facilitate the collection and payment of hotel/motel taxes.

Sec. 16-201. Definitions.

As used in this article, the following terms shall have the meanings ascribed to them in this section:

Bedroom. A room that is intended primarily for sleeping as reflected on the building permit, tax assessors records or site inspection.

County. Unincorporated White County.

Compensation. Remuneration or anything of economic value that is provided, promised or donated primarily in exchange for services rendered. This includes, but is not limited to, voluntary donations, and fee-sharing.

Director. The director of community and economic development or his or her designee.

Guest. Any person or persons renting a short-term rental. Note that this definition of guest specifically applies to the short-term rental host license.

Owner. Any person who, alone or with others, has title or interest in any residential structure, building, property, or portion thereof, with or without accompanying actual possession thereof, including any person who, as tenant, agent, executor, administrator, trustee, or guardian of an estate, has charge, care, or control of any short-term rental use.

Person. Any individual, firm, partnership, corporation, company, association or institution, governmental entity, or partnership and including any trustee, agents, assigns or other representative.

Subdivision, platted. A subdivision of common development with a final plat approved by the White County Planning Commission, the White County Community and Economic Development Department or recorded in a plat book with the White County Clerk of Superior Court, which are designed for the purpose of sale, lease, legacy or building development.

Subdivision, platted for family/estate. A subdivision of land with a final plat approved by the White County Planning Commissioner, the White County Community and Economic Development Department or recorded in a plat book with the White County Clerk of Superior Court, which are designed for intra-family land transfer and not for the purpose of sale, lease, or building development.

Responsible party. An individual(s) with the legal authority to make and act on decisions of tenancy, building maintenance, complaints and repairs relating to applicable safety codes. The responsible party must be available as a point of contact for the county as well as any short-term rental guest(s) for the duration of the stay in the short-term rental. The responsible party shall be available 24 hours per day, seven days per week for the purpose of responding within two hours to complaints related to the short-term rental and taking remedial action to resolve such complaints. Such initial response to a complaint by the responsible party may include a telephone response to either a 911 emergency dispatch operator or an in-person or telephone contact with an appropriate law enforcement officer.

Short-term rental advertisement. Any method of soliciting use of a lodging accommodation or any part thereof for short-term rental purposes.

Short-term rental. A lodging accommodation offered to transient guests for a period of time not to exceed 30 consecutive days. For the purposes of this definition, a residential dwelling shall include all housing types and shall exclude group living or group homes, campgrounds, RV parks, bed and breakfasts, motel, hotels or other lodging uses.

Short-term rental host. (Innkeeper) Any person who is the owner of a lodging accommodation or any part thereof that is offered for short-term rentals for periods of 30 days or less and who is responsible for applying for a short-term rental host license.

Sec. 16-202. License required.

It is unlawful for any person to operate or advertise as a short-term rental within the county without a valid occupational tax certificate for such rentals and a valid short-term rental host license issued pursuant to this article for each short-term rental location and the authority to collect and remit hotel/motel taxes. Any long-term rental property that is found to have terminated a contract rental agreement in less than 30 days may be considered a short-term rental and in violation of this article.

A license will not be issued to any property located in a platted subdivision as depicted on the adopted map established for this purpose as referenced in Section 16-208 of this article, unless the subdivision has covenants which specifically allows for short-term rentals.

Properties permitted as a vacation rental tourist cabin development as defined by Article VII of the White County Code of Ordinances will be issued a license according to the provisions of this chapter.

With adoption of these short-term rental host license requirements, the governing authority has established the maximum number of host licenses to be issued and to be active at any time shall be 650.

Sec. 16-203. License fee and license term.

- (a) The annual fees for the issuance of a short-term rental host license shall be established by resolution and shall be set forth in the schedule of fees and charges on file in the county clerk's office.
- (b) A short-term rental host license shall expire December 31st of each year and must be renewed annually. In the event that any person commences a new business on any date after January 1, the short-term rental host license shall be due and payable 30 days following the commencement of the business.
- (c) Short-term rental host licenses are non-transferable. If a property covered by a host license is sold or is otherwise transferred to a new owner, the new owner has sixty (60) days to apply for a host license under the same rights and privileges afforded to the prior owner such as grandfathered status and maximum license to be issued.
- (d) This license applies to all short-term rentals in unincorporated White County.
- (e) A penalty of ten percent per month of the amount of the short-term rental host license shall be imposed upon payments, for existing businesses, made after December 31st.
- (f) Operation of a short-term rental business for more than 30 days, whether the premises are rented or not, without payment of the required short-term rental host license is a violation of this article, and the business will be given a warning and be required to pay a penalty of three times the required short-term rental host license fee due. If the short-term rental host license and the penalty are not paid within ten calendar days of the date of the warning, a citation will be issued.

Sec. 16-204. License investigation and issuance of short-term rental host.

Upon receipt of a completed application for the issuance or renewal of a short-term host license, the community and economic development office may inspect the short-term rental for compliance with all applicable laws, rules, and regulations.

Sec. 16-205. License applications.

- (a) In addition to obtaining an occupational tax certificate from the business tax office, the following applies to a short-term rental host license:

- (1) Application for the issuance, renewal or change of ownership of a short-term rental host license shall be provided to the White County Business Tax office on the form provided and comply with requirements set out in this article. A short-term rental host license shall be required for each separate property. The 911 address for each property must be provided to White County.
- (2) The applicant shall be the owner(s) of the property listed on the application to be used as a short-term rental. If applicant is a business entity, the name of the authorized agent shall be provided on the short-term rental host application.

Sec. 16-206. Short-term rental host general provisions.

- (a) All short-term rental hosts must comply with the following:
 - (1) Obtain an approved Short-Term Rental Eligibility Form from the White County Planning Office.
 - (2) Provide documentation and a signed declaration of compliance attesting to compliance with the following:
 - a. Provide local contact (responsible party) information to all short-term rental guests during a guest's stay. The person designated by the owner as the responsible party shall be available 24 hours per day, seven days per week for the purpose of responding within two hours to complaints related to the short-term rental and taking remedial action to resolve such complaints.
 - b. Comply with all applicable laws, rules and regulations pertaining to the use and occupancy of a short-term rental. Attest by owner or third-party inspector that short-term rentals meet applicable International Building Code, International Fire Code regulations and NFPA 101 Life Safety Codes.
 - c. Post the following information in a conspicuous place within the short-term rental:
 1. Contact information for the responsible party;
 2. Street address;
 3. Floor plan indicating fire exits and escape routes;
 4. Information about how a guest can contact the planning department to report any concerns or complaints; and
 5. Maximum occupancy load;
 6. "In Case of Emergency", Dial 911;
 7. "This rental is located in a residential area. Please be courteous to our neighbors and the residents of this area. Any loud sounds (music, voices, etc.) or excessive activity may be reported to local law enforcement, and you may be subject to citations, fines, arrest, etc. Please respect our residential area and preserve the peaceful nature and beauty of this area."
 - (3) Parties that do not use third party rental platforms (Airbnb, VRBO, HomeAway, etc.) that remit hotel/motel tax on the short-term rental owner's behalf are responsible for remitting all applicable hotel/motel tax proceeds to White County.
 - (4) Provide proof that the short-term rental host license number is included on any short-term rental advertisement.
 - (5) Provide the White County Business Tax office with a copy of "house rules".
 - (6) Certify that there are no unpaid financial obligations to White County.
 - (7) If located in a platted subdivision, truthfully execute the affidavit stating that the subdivision has covenants which do specifically allow for short-term rentals with false execution of the affidavit being punishable by law.

- (8) Parking. All vehicles shall only be parked in the driveway and/or within the garage area of the short-term rental. Vehicles shall not be parked within the right-of-way of public roads or easements, including grassy/unimproved areas. Vehicles shall not be parked along any roadways which would cause safety issues, hinder access to such roadways or be in violation of any laws, subdivision rules, etc.
- (9) Solid waste/trash. Trash and refuse shall not be left or stored within public view, or in the public right-of-way, except in proper containers for purposes of collection by an authorized waste hauler. Trash and refuse shall not be left or stored in such a way that would cause safety issues, hinder access to the public right-of-way, violate subdivision rules, etc.
- (10) Occupancy load. Occupancy limit shall be established in accordance with the maximum occupancy limit as established in the **host license** application. The short-term rental host will keep the total number of guests to that number which can safely stay in the premises and the short-term rental host may be subject to the State of Georgia's fire safety code regulations.
- (11) Provide proof that the owner has commercial or specific short-term rental insurance for the property.
- (12) Noise. Short-term rentals shall not violate any noise or sound regulations, subdivision rules, etc.
- (13) Hours of operation. Check-in/departure and other rental-related activities should occur between 6:00 a.m. and 10:00 p.m.
- (14) A short-term rental owner **shall** not be in violation of any White County ordinances and must be in compliance with **short-term rental and** land use regulations.
- (15) Provide White County with the local contact (responsible party) information. The person designated by the owner as the responsible party shall be available 24 hours per day, seven days per week for the purpose of responding within two hours to complaints related to the short-term rental and taking remedial action to resolve such complaints. If this information changes, White County shall be immediately informed of the contact information of the new local contact (responsible party). Failure to have a readily available local contact (responsible party) is a violation of this Code.
- (16) Rental management companies shall either list each property separately on the monthly lodging tax form that is submitted to the White County Business Tax office or provide a separate lodging tax form for each property to the White County Business Tax office.
- (17) Business occupation tax certificate. Short-term rental host license and hotel/motel tax authorization certificate must be prominently displayed at each short-term rental property.

Sec. 16-207. Violations/consequences.

- (a) The community and economic development director is authorized to issue a warning, suspend or revoke a short-term rental host license issued under the provisions of this chapter if the short-term rental host license is issued in error, or on the basis of incorrect information supplied, or where it is determined that the building, structure, unit or portion thereof is in violation of any ordinance or regulation or any of the provisions of this article, including but not limited to the International Building Code, International Fire Code regulations and NFPA 101 Life Safety Codes.
- (b) If any violations stated in this article have been committed and not corrected within the time specified, the community and economic development director shall begin the procedures to revoke the short-term rental host license in accordance with the following:
 - (1) In the event of a first violation of this article, the director shall give a warning to the owner/operator specifying the nature of the violation(s) and the time to correct violation(s).
 - (2) In the event of a second violation of this article of the same nature within a 12-month period, the director will issue a suspension of the short-term rental host license for a 30-day period.
 - (3) In the event of a third violation of this article, of the same nature within a 12-month period, the director will revoke the short-term rental host license. The owner/operator may not reapply for the same property for a period of 12 months.
- (c) Any long-term rental property that is found to have terminated a contract rental agreement in less than 30 days may be considered a short-term rental and in violation of this article.

- (d) Any person who shall do anything prohibited by this article or who shall fail to do anything required by this article shall be guilty of a misdemeanor, amenable to the process of the county magistrate court and upon conviction, shall be punished as provided in O.C.G.A 15-10-50, and said provisions are by reference incorporated herein.

Section 16-208. Official Subdivision map.

The location and boundaries of subdivisions within White County are hereby established as shown on a map entitled "Official Subdivision Map of White County, Georgia." Said map, together with all explanatory matter thereon, is hereby adopted by reference and declared to be a part of this resolution.

The official subdivision map shall be identified by the signature of the county commission chairman, attested by the county clerk, and bear the following words: "This is to certify that this is the Official Subdivision Map referred to in Chapter 16, Short Term Rental Host License, White County, Georgia," together with the date of the adoption of the resolution.

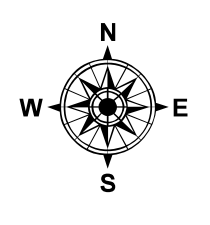
The purpose of the subdivision map is to identify platted subdivisions of common development, 4 or more lots, for the purposes of excepting those subdivisions from allowing short-term rentals in residential land use districts unless the covenants specifically allow it, as identified in Appendix C, Article VII, Section 702, Item B.

If in accordance with the provisions of this resolution and the applicable laws of the State of Georgia, changes are made in parcels or other matter portrayed on the official subdivision map, such changes shall be entered on the official subdivision map promptly after the amendment has been approved by the White County Board of Commissioners with appropriate entry or indication of such amendment on the official subdivision map. No amendment to this resolution which involves matters portrayed on the official subdivision map shall become effective until after such changes and entry has been made on said map.

Amendments and/or revisions to the subdivision map shall only be approved by the White County Board of Commissioners. However, if a new subdivision is proposed and then approved by the White County Planning Commission, the staff of Community and Economic Development can add those new subdivisions to the map once they have received final plat approval from the Planning Commission. Any unauthorized change of whatever kind by any person or persons shall be considered a violation of this resolution.

Regardless of the existence of purported copies of the official subdivision map which may from time to time be made or published, the official subdivision map shall be located in the office of Community and Economic Development and shall be the final authority as to the current subdivisions in the county.

Subdivision Map of White County, Georgia



Prepared by White County GIS
March 28, 2019

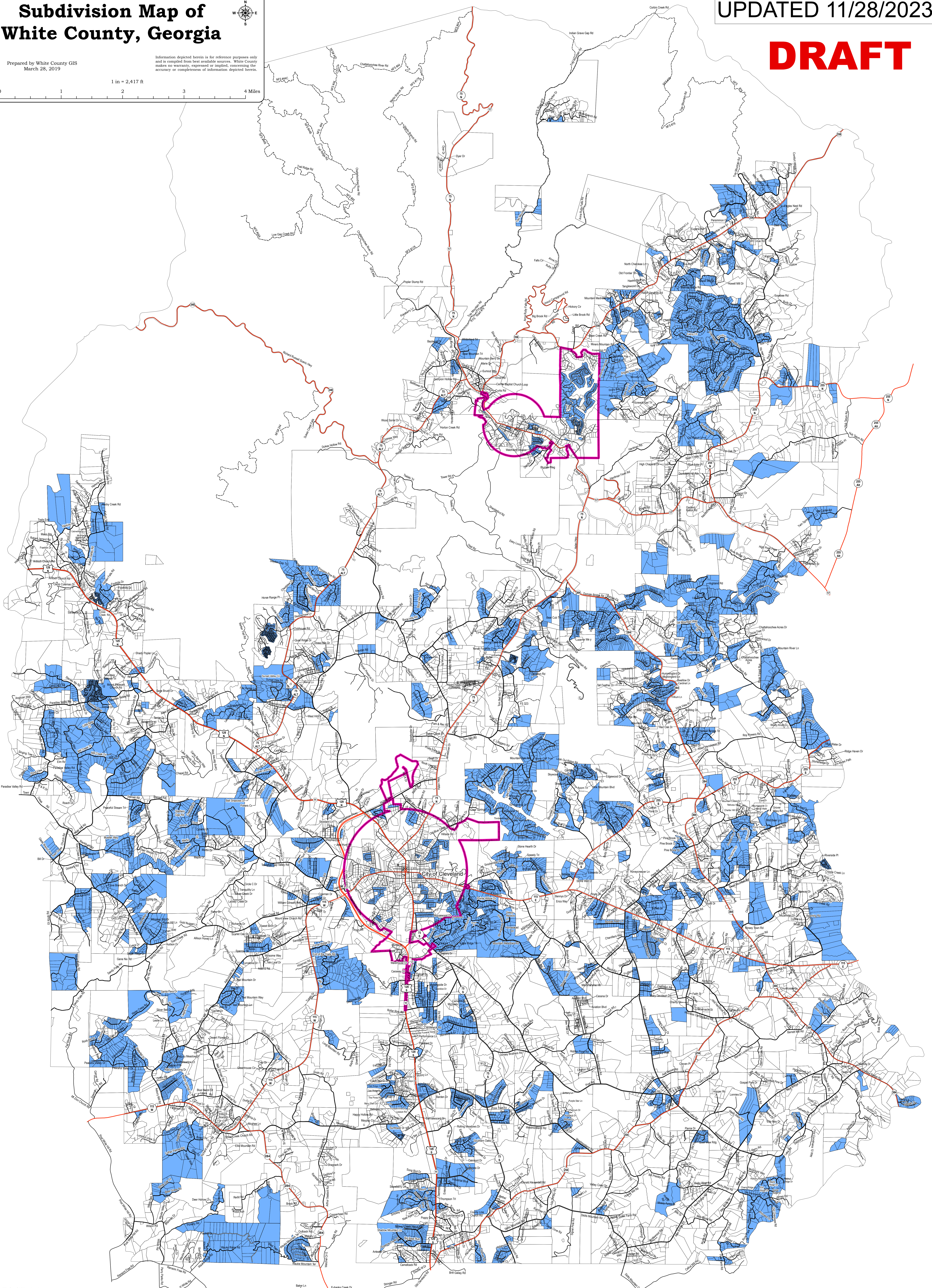
Information depicted herein is for reference purposes only and is compiled from best available sources. White County makes no warranty, expressed or implied, concerning the accuracy or completeness of information depicted herein.

1 in = 2,417 ft



UPDATED 11/28/2023

DRAFT



NAME	DATE	PLAT_BOOK	GIS_AC	DEED_AC	ALT_NAME	COMMENTS
ABUNDANT LIVING HOMES	12/21/2004	58/19	4.95943430689	5.80		
ALL REGION REALTY CORP. INC	11/4/1988	26/2	7.76400173128319	7.09		
ALPENROSEN MOUNTAIN COMMUNITY	4/29/1985	16/206	10.0562533843843	12.31		
ALLISON PROPERTIES INC	5/07/1986	21/65	4.52125444045443	4.56		
ALPINE TERRACE	2/09/1989	19/174-175	56.4530765403678	0.00		
ALTA VISTA ESTATES PHASE 1	6/06/2000	48/43	6.69368363397778	7.31		
ALTA VISTA ESTATES PHASE 2	8/01/2006	61/4	15.8097126517519	16.29		
APPLE VALLEY	1/28/2005	57/162	15.6402524353265	15.00		
ARROWHEAD ACRES INC	4/14/1970	5/179	66.9008797345245	0.00	SWISS COLONY	
ASBURY LANDING	6/05/2006	60/168	71.9786682761069	74.70		
ASHWOOD ESTATES	6/01/2001		57.5774329260348	59.46		
AUTUMN RIDGE	10/26/2006	61/43	6.14294993627586	6.00	SANDY RIDGE	SANDY RIDGE 8/18/2003 PB 54/122
BACKWOODS	5/29/1989	19/198	9.18895594272314	8.81		
BISON VIEW LODGE	4/24/2009	64/126	13.5137601005095	12.42		
BLACKBERRY MEADOWS	10/3/2001	51/37	29.706634732035	29.83		
BLALOCK PROPERTIES	2/24/1989	19/180	10.6752103830231	10.43		
BLALOCK PROPERTIES	11/4/1988	26/1	8.12092463093109	8.11		
BLUE CREEK HEIGHTS	6/4/1989	19/167	56.9925742503227	0.00		
BLUE CREEK OVERLOOK	8/19/1996	39/94	10.745008667036	8.76		
BOCA HILLS	9/3/1985	6/87	84.1926433443674	0.00		
BRIARWOOD	10/21/1996	39/101	9.37607633394563	9.17		
BROKEN ARROW ESTATES	9/23/2005	59/82	16.3211970092335	16.16		
BROCKFIELD ESTATES	9/27/2004	57/131	7.4513875650986	7.17		
BROOKSIDE CAMPGROUND PHASE 2	3/22/1989	19/191	1.95654081995599	2.20		
BROOKSIDE CAMPGROUND PHASE 1	9/12/1986	16/292	8.31010065475619	0.00		
BROOKSIDE SUBDIVISION PHASE 1	10/4/1994	31/213	4.49478467479009	0.00		
BROOKWOOD VILLAGE PHASE 3	11/21/1999	39/201	21.9799135997501	0.00		
BROOKWOOD VILLAGE PHASE 1	2/3/1993	31/116	11.9712641284314	11.06		
BROOKWOOD VILLAGE PHASE 2	7/26/1993	39/66	9.69702045960682	8.80		
BROOKWOOD VILLAGE PHASE 4	9/9/1999	43/142	13.782844554543	13.95		
BUCKHORN MOUNTAIN ESTATES	8/26/2003	54/116	35.2403309299473	30.96		
LICHTENBERG LOCH	1/15/2004	56/4	1.45127078841583	0.00		
C&S SUBDIVISION	2/2/2005	59/9	8.35192017700317	8.16		
CAMPGROUND MEADOWS	3/22/2004	57/127	7.96468462206202	8.08		
THE T.V. CANTRELL SUBDIVISION	10/3/1969	4/11	23.5565541378531	0.00		
CEDAR CREEK PHASE 1	9/22/2004	57/109	36.9290604977413	36.39		
CEDAR CREEK PHASE 2	9/22/2008		59.0861660623981	0.00		
CEDAR HOLLOW	1988	23/135	62.1253244920856	0.00		

NAME	DATE	PLAT_BOOK	GIS_AC	DEED_AC	ALT_NAME	COMMENTS
CENTER GROVE VILLAGE	2/4/2000	48/47	18.7158507732563	0.00		
CHATTAHOOCHEE SHOALS TOWNHOMES	1/17/2007	62/129	0.373403615289044	0.60		
CHATTAHOOCHEE WILDS	6/4/1991	31/24	35.6603140990125	0.00		
CHEROKEE CAMPGROUND	9/3/1996	39/95	7.95944964126759	0.00		
CHEROKEE FRONTIER	4/19/2004	57/57	4.22976668853741	4.23		
CHESMAR SUBDIVISION			27.8060884657323	28.61		
CHIMNEY LAKES PHASE 1	12/5/2003	57/6	64.4259472644849	71.31		
CHIMNEY RIDGE	1/7/2003	54/17	6.99812500956458	5.14		
CHIMNEY SHADOWS PHASE 2	8/27/1998	43/53	8.74511161581663	6.41		
CHIMNEY SHADOWS PHASE 1	8/27/1998	43/53	10.4690985882583	0.00		ADDED BY REFERENCE IN PHASE 2 PLAT
CLEARVIEW	3/7/2005	59/4	10.3052302337672	12.04		
CLEVELAND COMMONS	1/19/2004	57/83	3.31883751553964	3.81		
CLEARVIEW HEIGHTS	5/3/1967	3/30	4.41450791613578	0.00		
COVERED BRIDGE	1974	7/167	14.5101333455611	0.00		
COX CREEK COVE	5/3/2002	51/111	3.05890386676155	3.16		
CROSTOWN PLACE	2/26/2004	57/31	3.93698824972205	4.14		
CRUMLEY RIDGE	2/13/2003	54/41	7.71882855125011	0.00		
CURTIS DAVIDSON	2/27/2006	59/135	3.20269988120932	0.00		SPLT FR 48A-6'06 SPLT TO 48A-6B THRU'07
DEAN VIEW ESTATES	9/27/1999	43/145	75.8422748595833	77.44		
DEER CROSSING	1/28/2004	56/12	9.92029754478122	9.78		AC COR'07 DB1091-143/PB59-12
DEER MOUNTAIN	9/1972	6/78	110.635298459079	0.00		
DEER RUN	4/28/1998	44/68	29.0878571785269	0.00		
DEER VALLEY ESTATES	1/22/1973	6/149	18.5221455587453	0.00		
DOGWOOD LANE	11/13/1970	4/168	12.89798378847	0.00		
DRIFTWOOD COVE	2/27/2007	61/95	7.63563506419753	7.57		
J.C. DRISKEL	10/11/1999	43/147	4.8923936429816	4.88		
J.C. DRISKEL UNIT 3	6/2/1969	3/257	5.06633123770679	0.00		
J.C. DRISKELL UNIT 2	4/29/1969	4/78	7.07419595047835	0.00		
DUNCAN BRIDGE ESTATES PHASE 4	10/6/2006	61/33	8.43683618216357	8.70		
DUNCAN BRIDGE ESTATES PHASE 2	5/18/2000	48/44	12.0459681844524	13.16		
DUNCAN BRIDGE ESTATES PHASE 3	5/18/2000	48/45	22.3506869572728	21.86		
EAGLE'S LANDING PHASE 1	2/7/2003	54/31	8.1885274498395	9.02		
EAGLE'S LANDING PHASE 2	5/13/2003	54/65	15.0354960826885	0.00		
EAGLE'S LANDING PHASE 5	5/13/2003	54/64A	11.3721840352653	13.34		
EAGLE'S LANDING PHASE 3	7/30/2003	54/98	27.7677623586975	29.46		
EAGLE'S LANDING PHASE 4	8/19/2003	54/113	12.7524162294173	13.01		
EAST SIDE SUBDIVISION	10/18/1957	1/83	20.4025311273235	0.00		
EDELWEISS RIVER TOWN HOMES	7/19/2004	56/136	0.927660141671417	1.52		

NAME	DATE	PLAT_BOOK	GIS_AC	DEED_AC	ALT_NAME	COMMENTS
EDELWEISS RIVER TOWN HOMES	8/25/2004	59/68	1.22821788540308	1.54		SPLT FR H4D-52'06 DB1004-243/PB1004-245
EDELWEISS TOWN HOMES			1.68853608933186	0.00	TUSCANY VILLAS	
THE FALLS AT MOSSY CREEK	5/19/2005	64/36	10.8905485329946	9.96		
FAWNS DOMAIN	8/15/2002	51/140	21.4543922881298	21.97		
FERN MEADOWS	11/14/2003	57/37	29.421070025692	30.42		
FERN VALLEY ESTATES	2/16/2001	48/133	51.2444173586259	53.64		
THE FIELDS AT TOWERING OAKS	7/2/2007	61/144	32.8600841177049	33.23		AC COR'07 DB1105-359/PB59-162
FOREST FARM	2/8/2005	59/125	18.6804066033847	19.87		
FOXX TROTT	11/7/2005	61/44	10.2533245217303	10.84		
GADALULU	5/3/2000	48/31	10.9547747623225	0.00		
SASSAFRAS RIDGE	5/13/2003		46.8439842254532	46.74		
GARY'S PLACE	3/15/2001	51/48	5.06794694446379	5.59		SPLT FR 49C-37'06 PB51-48
BILL GERRIN	3/6/2005	59/10	47.7935925141711	53.66		
GOLD DITCH FARMS	7/11/2000	48/65	58.3822315217292	58.84		
GOLD DUST HILLS	3/27/2007	61/110	17.8131947745145	19.63		
GOLD PAN ACRES	6/14/2004	57/68A	10.2501558627879	10.18		
GREEN ACRES	7/10/1998	43/45	6.72650183997753	6.78		
JOHN F. GREER ESTATE		17/83	5.03401355475846	0.00		
GREENLY HILLS ESTATES	5/7/1971	25/1971	14.0417405180892	0.00		
HAMILTON ACRES	3/9/1994	31/175	13.8691993676231	14.37		
HAMILTON PLACE	6/2/1995	31/265	27.5846815417874	15.16		
HAMPTON PHASE 2	6/15/2007	61/131	19.5310808619862	20.85		splt to 62-222A'06 db1047-395/pb60-4
GARY & BRENDA HAYNES	12/13/2001	58/12	6.43906327460505	5.12		COMBD W/ P/O 22-135'07
CANAL SHOP SECTION	4/7/1978		2.47974783851179	0.00		
LODGING AREA HELEN	3/31/1975	8/5	2.64076106819187	0.00		
THE WALL	3/31/1975	8/4	0.55927327813927	0.00		
HIGHCREST SUMMIT PHASE 2	11/13/2007	61/170	18.6641576222267	20.27		
HIGHCREST SUMMIT PHASE 2	11/13/2007	61/170	1.02979940989244	20.27		
HIGHCREST SUMMIT PHASE 1	7/21/2002	54/104	33.1313542833585	0.00		
HIGHLAND FOREST PHASE 1	4/19/1998	31/184	33.9041118032087	33.46		
HIGHLAND SHORES	3/7/1989	19/191	14.0602836424708	12.15		
THE HOMESTEAD	3/7/2018	2018/37	14.345080582028	15.60		
HORTON CREEK	6/29/1970		28.9958862678928	0.00		
HUNTS CROSSING	8/1/2000	48/70	10.1628596884107	9.79		
IGLS BLOCK B	7/13/1998	44/176	26.8333835512422	0.00		
INNSBRUCK BLOCK "A" PHASE 1	9/6/1985	16/223	22.3884445722767	0.00		
INNSBRUCK BLOCK "A" PHASE 2	1/14/1987	19/19	34.6309340144571	0.00		
INNSBRUCK BLOCK "A" PHASE 3	11/4/1987	19/89	27.2019479053805	0.00		

NAME	DATE	PLAT_BOOK	GIS_AC	DEED_AC	ALT_NAME	COMMENTS
INNSBRUCK BLOCK "A" PHASE 4	8/28/1990	19/281	9.97612407913718	0.00		
INNSBRUCK SPORTS COMPLEX	7/12/2005	59/45	23.6252981662056	0.00		
INNSBRUCK BLOCK "D" PHASE 2	6/27/2000	47/248	21.1024820470546	0.00		
INNSBRUCK BLOCK "D" PHASE 1	7/26/1999	46/180	30.8244541317247	0.00		
JENNY'S COVE	10/17/1973	7/74	38.8422771576397	0.00		
JENNY CREEK	8/9/1973		61.7381845675938	0.00		
JENNY CREEK SHOALS	4/8/1972	5/210	76.0513399817778	0.00		
KELLUM VALLEY ESTATES	10/17/1984	16/176	45.1301977008589	0.00		
KENSINGTON MANOR PHASE 1 & 2	11/7/2003	54/167	18.200782794601	19.85		
KNOTTINGTON WOODS	11/4/2016	67/105	11.4687035961586	11.15		
LACEOLA, WATERFRONT GROUP PHASE 1	1/26/2013	A/83F	21.5473083278967	0.00		
LACEOLA PHASE 2B	10/21/2006	61/26	34.3879276839417	0.00		
LACEOLA PHASE 3A	12/4/2006	61/56	56.9740084450712	0.00		
LACEOLA PHASE 2A	12/13/2006	61/61	6.77641026295593	0.00		
LACEOLA, WATERFRONT GROUP PHASE 2	5/6/2014	A/84C	66.9670039867141	0.00		
LAKEVIEW AT LACEOLA PHASE 1	11/5/2014	A/84H	21.4406869781077	18.65		
WOODS AT LACEOLA	11/6/2014	67/14	18.6151936682572	19.23		
LACEOLA, WATERFRONT GROUP PHASE 3	10/8/2014	A/84G	24.5194647249674	23.80		
LANARK SUBDIVISION	2/14/2007	61/91	18.6404556648936	19.59		
LARRYDAN BUILDERS	3/11/2004	56/55	6.8368971613879	6.84		
LAUREL POND AT SANG SPRINGS	2/6/2008	64/4	10.5561265558884	10.47		
LAUREL RIDGE		31/130	52.5444398058139	0.00		
LAURELWOOD SUBDIVISION	10/19/1965	2/115	89.8730287213624	89.87		
WILDWOOD PINK MOUNTAIN	7/31/1985	20/145	4.9743693630684	6.78		
LEAF ESATES SUBDIVISION PHASE 1	1/10/2007	61/84	13.3264493100809	0.00		
LEISURE ACRES CLUB PHASE 1	7/21/2001	51/13	2.46140369854944	2.72		SPLT FR 50-55'06 PB51-13
LEISURE ACRES CLUB PHASE 2	6/4/2002	51/113	2.96686761341273	2.78		SPLT FR 50-55'06 PB51-113
LOCKWOOD ESTATES	5/2/2000	48/33	20.5320774790942	19.05		
THE LAKES AT LONG MOUNTAIN	5/15/2008	64/90-92	76.0407647068973	0.00		
THE LAKES AT LONG MOUNTAIN	5/15/2008	64/90-92	31.0643486077092	0.00	LONE RIDGE SUBD	ALSO LISTED IN BK 19/38
THE LAKES AT LONG MOUNTAIN	5/15/2008	64/90-92	9.75072314515102	0.00	LONE RIDGE SUBD	ALSO LISTED IN BK 19/38
THE LAKES AT LONG MOUNTAIN	5/15/2008	64/90-92	0.10487333766374	0.00		
LOTHRIDGE ESTATES	6/21/1995	31/268	38.517894648705	37.88		
LOTHRIDGE MEADOWS	10/3/2006	61/32	9.64504394141633	9.35		
LOUDSVILLE CROSSING	10/6/2003	54/136	18.2705376700969	16.92		
MAGNOLIA PINES	9/4/2004	57/111	18.1761756527743	0.00		
MAULDIN CREEK	12/18/1980	14/158	79.4543292013446	0.00		splt combd w/84-14a'06 db1072-216
HARRY P. MAYS	3/4/1972	5/175	10.1013101892723	10.85		

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MEADOW VIEW SUBDIVISION	9/4/2007	61/152	11.3633393465914	12.35		DB1021-317/PB58-131
MISTY RIDGE	11/4/2004	57/125	25.1415568653473	25.41		SPLT OUT'07
MOSSY TRAILS	9/29/1997	39/181	10.8313714689152	8.90		
MOUNTAIN LAUREL FARMETTES	10/29/1977	11/162	76.5669620303889	0.00		
MOUNTAIN MEADOWS PHASE 3	5/4/1998	43/105	46.5620566632608	52.20		
MOUNTAIN SHADOWS UNIT D	8/28/1991	14/298	17.5862368501801	0.00		
MOUNTAIN MEADOWS SUBDIVISION	12/2/1986	22/72	38.3106514055432	39.80		
MOUNTAIN SHADOWS UNIT C	2/8/1979	14/297	27.1416556767975	0.00		
MOUNTAIN SHADOWS UNIT C	2/8/1979	14/297	9.39931591433444	0.00		
MOUNTAIN SHADOWS UNIT C	2/8/1979	14/297	1.7696798144113	0.00		
MOUNTAIN SHADOWS UNIT C	2/8/1979	14/297	8.73586521640363	0.00		
MOUNTAIN SHADOWS UNIT A	11/29/1978	16/269	4.94102149037505	0.00		
LACEOLA, WATERFRONT GROUP PHASE 3	9/8/2014	A/84F	2.05713751324858	19.68		
LACEOLA, WATERFRONT GROUP PHASE 3	9/8/2014	A/84F	17.8071887396897	19.68		
MOUNTAINSIDE AT LACEOLA	4/27/2005	59/32	122.478502914496	0.00		
MOUNTAINSIDE AT LACEOLA PHASE 5	7/11/2005	59/193	16.8597755012549	10.20		
MOUNTAINSIDE AT LACEOLA PHASE 6	10/5/2007	61/163	13.2578621393811	12.55		
MT. SCENIC ESTATES	9/29/1967	25/66	162.997061739581	0.00		
MT YONAH ESTATES	5/14/1964	2/13	40.4341305637756	0.00		
MT YONAH SCENIC ESTATES SECTION B	10/15/1971	5/117	12.3620877013033	0.00		
MT YONAH SCENIC ESTATES SECTION D	2/20/1974	7/154	13.4304691314704	0.00		
NACOOCHEE HILLS	12/28/2004	57/149	29.3341166582141	32.70		
BARBRA K. NELMS	4/22/2004	57/72	6.5401308131363	6.18		
NEW BRIDGE COVE	1/25/2006	59/128	5.52654919502853	5.35		SPLT FR 78-74'07
NORTH CHATTAHOOCHEE RIVER ESTATES PH. 1	2/15/1985	31/243	58.0481803156792	63.65		
OAK PARK	2/16/2006	59/123	6.74651370137897	5.16		PB59-123
OAK VIEW TRAILS	5/5/1999	46/45	49.5055261517143	0.00		
OLIVERS KNOLL	11/10/2008	64/76	12.3608909313511	13.12		
PANORAMA ESTATES BLOCK F	3/2/1992	30/49	52.3736865379466	53.59		
PANORAMA ESTATES	5/6/1988	19/123	77.5938167175328	0.00		
PANORAMA ESTATES BLOCK A			25.3940032866142	0.00		
PANORAMA ESTATES SECTION G	1/22/1993	31/62	12.6999439211332	12.22		
PANORAMA ESTATES SECTION C	9/28/2007	61/158	25.0091278900654	27.85		
PANORAMA ESTATES SECTION W	6/4/2002	51/114	12.2937236226476	13.40		
PANORAMA ESTATES SECTION W PH.7	5/15/2007	61/121	27.7570907118091	41.69		
PANORAMA ESTATES SECTION W	7/14/2006	59/196	15.7782803810767	24.37		SPLT FR 72-106'07
THE RESERVE AT MOSSY CREEK			40.0879043842329	0.00		
PANORAMIC VIEW ESTATES	10/21/2007	54/167A	4.40299729112738	4.37		

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PARADISE VALLEY CAMPGROUND PHASE VIII	9/6/2000	48/76	6.04117779805992	0.00		
PARADISE WHITEWATER PHASE I	8/21/1988		112.748452508482	0.00		
PARADISE VALLEY CAMPGROUND	7/30/1996	39/87	3.91529104163351	0.00		
PARKVIEW ESTATES	4/21/2004	56/84	42.6640898849022	0.00		
PARADISE VALLEY CAMPGROUND PHASE III		39/88	7.27269661913209	0.00		
ELI KNOB PHASE 1	12/9/2005	59/102	10.8995369466606	0.00		
ELI KNOB PHASE 1	12/9/2005	59/102	10.5661172549171	0.00		
ELI KNOB PHASE 1	12/9/2005	59/102	7.51947863913197	0.00		
PAY MY LAND INC	6/8/2012	66/100	56.707275893345	0.00		
PEACEFUL VALLEY SUBDIVISION	12/10/1969		56.7915401594189	0.00		
PEACEFUL VALLEY SUBDIVISION	12/10/1969		56.7915401594189	0.00		
PEACEFUL VALLEY UNIT 4	9/1973	6/82	90.8372907589681	0.00		
PEACEFUL VALLEY SECTION C & D	7/15/1970	4/120	19.8081254568532	0.00		
PEACEFUL VALLEY UNIT 3	10/10/1971	5/118	57.2768580503331	0.00		
PEACEFUL VALLEY UNIT 5	12/31/1973	5/118	46.7661106591553	0.00		
PEGGY GAP PHASE 1	12/3/1993	31/161	17.4548129097518	13.81		
PINE VIEW UNIT 2	9/4/1978	3/154	16.4183590180666	0.00		
PINE VIEW UNIT 3	12/7/1968	7/143	15.2896787414059	0.00		
POST POINTE PHASE 1	8/17/2004	57/106	6.02168494922925	6.00		
QUAIL RIDGE PHASE 1	6/19/2007	61/134	7.74291730116925	8.08		
QUAIL RIDGE PHASE 2	7/20/2007	61/148	16.9094554624772	16.93		
QUIET HAVEN	11/4/2004	57/132	24.8582834426176	23.53		
RAINBOW RETREAT	9/9/1997	39/175	104.788819626373	104.21		
THE RESERVE AT SKITT MOUNTAIN	8/23/2004	57/105	26.0395860276644	21.75	COUNTRY CLUB E	COUNTRY CLUB ESTATES 8/28/1973 PB 7/49
RICE CABIN OVERLOOK	11/13/2006	59/124	17.2172923201855	14.87		
STRONG ROCK COVE PHASE 1	1/13/2016	67/57	5.68637218374948	5.51		splt fr 17-83'06 db1028-446/pb57-115
RIVERSIDE PROPERTIES	5/10/1990	19/265	10.1564841670622	11.44		
ROLLING MEADOWS PHASE 1	6/15/2004	57/68B	34.9109169355844	39.48		
ROLLING MEADOWS PHASE 2	9/24/2004		28.4271012146506	0.00		
SAL MOUNTAIN WOODS PHASE 1	1/7/1997	BOOK A/ 55	109.873683918124	0.00		
SANDY BOTTOMS	12/5/1989	19/231	35.6408753566811	35.69		
SAUTEE MEADOWS	7/10/2007	61/145	14.1247965496902	14.97		SPLT FR 45B-16'07
SAUTEE WOODS	11/7/1983	BOOK A/ 50A	148.173743276481	0.00		
SAUTEE WOODS PHASE 3	12/8/1986	22/133	39.0322965553797	0.00		
SHADOW MOUNTAIN	10/10/2005	48/82	157.856922382274	0.00		
SHELTER COVE	6/11/2007	61/136	33.866941081131	33.22		
THE SHPHERD'S PLACE	8/4/2003	54/102	35.6446479172021	0.00		
SHENADOAH SUBDIVISION	5/22/1995	31/262	31.6202384314698	35.74		

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SHERWOOD HILLS	12/12/1997	39/215	4.24548888042852	4.86		
SHOAL CREEK ESTATES	3/3/2004	57/33	62.2990228123902	66.55		
SHOAL CREEK LANDING	6/20/2007	61/138	122.747537835523	125.49		
SILVER FALLS	9/8/1986	21/283	161.286519893165	0.00		
B.E. SIMS	10/26/1972	6/114	37.5882786972499	0.00		
SKYLAKE	9/19/2007		25.7704607868219	0.00		
SKITTS MOUNTAIN COVE UNIT 2	11/10/1998	43/74	30.8860567316373	30.82		
SKITTS MOUNTAIN COVE UNIT 1	6/26/1998	43/39	4.17175597845691	3.67		
SKYLAKE RECREATIONAL COMMUNITY	9/13/1977	11/108	32.586613036504	0.00		
SKYLAKE RECREATIONAL COMMUNITY	3/15/1979	13/48	33.223695133476	0.00		
SKYLAKE RECREATIONAL COMMUNITY BLOCK "C"	8/26/1974	8/83	6.80622399924568	0.00		
SKYLAKE RECREATIONAL COMMUNITY BLOCK "B"	8/26/1974	8/83	6.31572598370074	0.00		
SKYLAKE RECREATIONAL COMMUNITY BLOCK "D"	8/26/1974	8/83	4.05054236043997	0.00		
SKYLAKE RECREATIONAL COMMUNITY BLOCK "M,	9/13/1977	11/103	39.8249225171455	0.00		
SKYLAKE RECREATIONAL COMMUNITY BLOCK "H"	10/1/1973	7/81	30.511837750246	0.00		
SKYLAKE RECREATIONAL COMMUNITY BLOCK "J"	10/1/1973	7/82	28.8845605910704	0.00		
SKYLAKE RECREATIONAL COMMUNINTY BLOCK "L	10/1/1973	7/83	10.3077339221648	0.00		
SKYLAKE RECREATIONAL COMMUNITY	11/1/1973	7/84	21.5156664463758	0.00		
SKY MOUNTAIN ESTATES	10/11/2005	54/101	61.1154088355836	0.00		
SAL ESTATES	10/3/2005	59/92	36.7168561217701	15.02		
SKY MOUNTAIN ESTATES PHASE 3	1/30/1997	39/123	19.4619643677919	0.00		
SMITH HEIGHTS SUBDIVISION	11/6/2006	61/80	7.71468816066383	6.93		
SPRING CREST PHASE 3	11/2/2000	48/106	103.51286487094	111.64		
SPRING CREST PHASE 1	11/4/1997	39/192	38.1256840984963	35.80		
SPRINGHILLS SUBDIVISION	6/14/1994	31/195	33.1342099710829	33.56		
STANDRIGE ESTATES PHASE 1	6/20/2006	61/7	6.86782649104423	3.43		SPLT FR 51-124'07
STEVEN'S COURT	10/7/2005	59/81	5.44807410371437	5.33		SPLT FR 33-35 '07 PB59-81
STEVEN'S COURT PHASE 2	12/5/2005	59/107	3.23949149857336	3.12		SPLT FR 33-35'07 PB59-107
STONEBROOK	8/821996	39/84	96.9569113551831	92.69		
STRAWBERRY RIDGE	4/4/2000	48/18	11.7579349522871	11.57		
STONEHAVEN RIDGE PHASE 1	7/5/2001	51/8	45.3389852699801	24.79		
STONEY CREEK SUBDIVISION PHASE 1	7/13/2015	67/34	4.58652171869563	5.13		
THE SUMMIT	10/2/2002	51/146	71.3673974075843	0.00		
THE SUMMIT PHASE 2	9/15/2005	59/75	58.2241409996991	57.15		SPLT FR 56B-269,270'06 PB59-75
SUNNY WOODS	2/25/2005	59/3	16.8168744080685	16.54		SPLT FR 74-173'06 PB59-3
SUNDANCE LOG CABINS	2/12/2002	51/82	5.85586612709959	6.00		
HIGHCREST SUMMIT PHASE 3	11/13/2007	61/170	14.1555958898838	16.18		
SUNRISE RIDGE	5/25/2005	59/35	6.93084723878245	5.99		SPLT TO 61D,E,F'06 PB59-35

NAME	DATE	PLAT_BOOK	GIS_AC	DEED_AC	ALT_NAME	COMMENTS
SUNSET VALLEY	7/14/1993	31/136	23.4963767670446	0.00		
SUNSET VISTA	11/21/2002	54/1	17.9555517725462	0.00		
TAILRACE SUBDIVISION	4/1973	38/108	9.77370891360868	0.00		
TANGLEWOOD PHASE 2	4/23/1993	31/129	18.9258479438646	0.00		
TANNER RIDGE	9/7/1999	46/190	6.57560422651996	7.57		
TELFORD HULSEY INDUSTRIAL PARK	6/5/2005	59/38	3.32503364956954	3.60		
TESNATEE HILLS	7/25/1989	19/216	26.7500328777761	21.85		
TESNATEE LANDING SUBDIVISION	5/18/2007	61/124	25.3551157747155	24.09		
TESNATEE OAKS	11/22/2007	61/82	9.98526881832666	9.57		
TESNATEE RIVER ESTATES	3/31/1964	2/8	10.716284988944	0.00		
TOLHURST ESTATES	5/20/1991	29/188	21.7565992864721	0.00		
TOTHEROW INDUSTRIAL PARK	8/22/2005	59/80	9.16633496165146	8.43		
TOWN CREEK SHOALS	7/29/1971	5/113	100.857268127164	0.00		
TOWN CREEK SOUTH	10/12/1984	16/171	55.4529652944203	56.98		
TOWNVIEW ESTATES SUBDIVISION	2/1967	3/115	24.0737656947962	0.00		
TOWNVIEW ESTATES	4/10/2003	54/57	7.44421100622734	8.41		
TRANQUILITY HILLS	5/7/2008	64/33	11.3659247185332	13.24		
TRAY MOUNTAIN WILDERNESS ESTATES	5/16/2003	54/73	7.84814003132	7.19		
TURKEY CREEK	10/2/2006	61/30	95.3917747576302	0.00		SPLT FR 56B-128'06 DB1040-444/PB31-132
JOE TURNER SUBDIVISION	9/31/1956	1/46	4.18670204634785	0.00		
TURNER'S LANDING	4/10/2004	57/49	4.03110131475265	4.14		
TURNER RIDGE SUBDIVISION	3/2/1995	31/246	34.4273080416125	40.92		
TWIN RIDGE ACRES	4/23/2004	57/74	7.49117371643816	8.24		
TWIN RIDGE ACRES PHASE 2	11/25/2005	59/93	16.3343936563831	16.82		
THE VIEWS	6/27/2005	59/76	9.41721457531485	0.00		splt fr 45B-23 5/31/06 pb59-76
THE VILLAGE	6/4/1975	9/14	2.58889629376498	0.00		
VISTA VIEW	5/25/1988	19/146	60.734201219407	77.60		
WALNUT PLACE	12/3/2004	57/151	13.9761059224112	12.28		AC COR'06 PB57-151
WAUKA MOUNTAIN SUBDIVISION	7/5/1972	6/30	42.1056600759525	0.00		
WAUKA MOUNTAIN SUBDIVISION	7/20/1983	14/279	503.277255192199	0.00		
WEBSTER LAKE ESTATES		5/11/2006	31.7712680240737	32.18		SPLT FR 78-88C'07
O.B. WEST JR ESTATE	3/19/2009	64/116	59.2335657699514	61.23		
W.M. WESTMORELAND SUBDIVISION	11/12/1968	3/177	32.1821095356884	0.00		
WHITEHALL COMMERCIAL	5/13/2004	57/56	11.2624519612452	11.32		
WIL-LIN HILL SUBDIVISION	3/20/2000	48/13	1.92340843611802	0.00		
WINCHESTER SUBDIVISION	7/6/2006	59/191	13.085	13.93		SPLT FR 33D-121C'07
WINDCHASE RIDGE	9/5/2001	51/27	6.10088845812543	6.36		
WINDY HILLS SUBDIVISION PHASE 2	9/7/1997	39/170	4.93627829643583	5.20		

NAME	DATE	PLAT_BOOK	GIS_AC	DEED_AC	ALT_NAME	COMMENTS
WOODLAND FOREST PHASE 1	10/23/1998	43/70	19.3932103977548	15.07		
WOODLAND FOREST PHASE 2	4/7/2000	64/25	20.3265142035177	0.00		map corr 6/2/06
YONAH SHADOWS	4/15/2005	59/16	12.5653457129928	14.12		SPLT FR 47B-17'06 PB59-16
THE WOODS SUBDIVISION PHASE 1	4/7/1978	12/10	115.430275619462	0.00		
YONAH EAST ESTATES PHASE 2	11/9/1995	31/315	49.5877997314445	40.69		
YONAH MEADOW	12/15/2000	48/112	84.0218677977133	83.06		
YONAH VALLEY	8/4/1972	6/68		85.16		
TESNATEE CREEK ESTATES	11/30/2018	19/170	2.41602033543972	2.58		
ADAIR'S MILL PHASE 2	12/03/1986	19/10		27.39		
ADAIR'S MILL PHASE 3	5/01/1989	19/196		62.68		
ADAIR MILL				0.00		
THE FALLS AT LONG MOUNTAIN	9/24/2003	54/127	134.183082707826	127.58		
PARKSIDE DOWNTOWN	1/3/2019	02019/2		3.49		
HUNTS CROSSING	6/2/2023			0.00		
YONAH MOUNTAIN LAKES				0.00		
SWISS COLONY PHASE 3	9/20/1990	29/47	20.3618002546664	0.00		
TEEL MOUNTAIN SUBDIVISION		57/50, 59/53	78.7687102240407	0.00		SPLT FR 20-110'07 PB59-53
MOUNTAIN MEADOWS PHASE 4	1/27/1999	43/82	53.0846299619027	51.98		
CABINS BY THE VINEYARD	9/28/2018	2017/121	13.4619898525777	12.67		
MCCLURE CREEK			31.8329376306044	0.00		
MOUNTAIN MANOR		39/102	6.4208619478382	7.15		
MOUNTAIN MANOR		39/102	6.4208619478382	7.15		
ADAIR'S MILL PHASE 1	3/17/1986	16/262	64.8117485515803	0.00		
ADAIR'S MILL PHASE 4	12/19/1990	19/301	81.8406877329406	0.00		
JULIA LEDFORD ESTATE	8/11/2003	54/112	81.5427617885378	86.12		
WINDY ACRES		12/157	45.3103048937167	0.00		

NAME	DATE	PLAT_BOOK	GIS_AC	DEED_AC	COMMENTS
BURLOY LAND CO. 1	9/9/1974	8/76	146.268817167466	146.27	
BURLOY LAND CO. 2	10/23/1975	9/100	41.1900651229709	41.19	
JOYCE BUTTON	8/18/1989	19/218	10.8162574174288	10.82	
WESTMORELAND MEADOWS	10/16/1996	39/100	25.6331920356989	25.63	
GORDON B. WINKLER ET. AL	4/1/1976	9/178	60.0443783184758	60.04	
HOOD ACRES	2/10/1993	31/118	26.2396196933678	26.24	
STANDRIDGE ESTATES PHASE 1	8/9/2006	61/7	3.45342448049836	3.45	splt to 51-124b'06 db1072-42/pb59-63
STANDRIDGE ESTATES PHASE 2	9/13/2006	61/21	3.4144021585603	3.41	SPLT FR 51-124'07
BLALOCK PROPERTIES	3/1/1989	19/180	10.4521345319434	10.45	
CONNIE THOMAS, IDA BICKER DYKE & JEANETTE NUNNA	6/2/1999	46/79	7.37065816566277	7.37	
JOE ED HOLCOMB & IDA D. HOLCOMB	5/9/2016	67/77	16.6424067717648	16.64	
BACKWOODS	5/5/1989	19/198	8.26402183835525	8.26	
POST POINTE PHASE 1	9/9/2003	54/123	6.02168494922925	6.02	
POST POINTE PHASE 2	9/9/2003	54/124	2.20273521478654	2.20	
CECIL CRUMLEY	5/17/1989	19/203	17.3467967957046	17.35	
RAINBOW RETREAT	9/5/1997	39/175	102.245820315718	102.25	
PREP INC	2/19/1990	19/245	7.69373811378342	7.69	
F & B REALTY	6/4/1991	31/24	26.6715940208397	26.67	
SHOALS AT THE CHATTAHOOCHEE	7/16/2003	51/128	22.7491872832732	22.75	
MRS. C.J. MEADERS ESTATE	5/17/1966	25/36	95.9840860633237	95.98	
WILLOW GLEN	2/5/1980	13/259	64.1540599245826	64.15	
ESTATE OF MARVIN DYER	10/30/2002	53/98	40.6503533892334	40.65	
MOUNTAINSIDE AT LACEOLA PHASE 4	10/5/2007	61/163	12.2341993148375	12.23	
DORIS ACRES	4/15/2022	2022/63	15.2847548901222	15.28	SPLT TO 90-80C'07 DB1085-79/PB60-89
MICHAEL KENNETH WOOD	2/16/2005	58/53	21.8324206365323	21.83	splt to 91-24f,g,h'06 pb58-53
JOE CAMPBELL	1/22/2019	2019/9	5.67759111194215	5.68	
H. WAYN & B. DALE CLARK	8/18/1972	15/256	91.5011711073532	91.50	
EDWARD SEUBERT	9/22/1969	4/5	30.5661527342945	30.57	
DAN HICKS	3/11/1998	44/4	5.05717380557862	5.06	
AURUM HILL ACRES	8/12/2002	51/134	6.20897755105095	6.21	
D. AUBREY HIGGINS	4/29/1985	16/205	116.787040644757	116.79	WELL TR SPLT OUT'06 DB1005-231 PB56-134
ELI KNOB SUBDIVISION PHASE 1	12/5/2009	59/102	48.3169374873782	48.32	
RILEY CRUMLEY	6/12/1998	43/28	30.3191675542196	30.32	
MOUNTAIN VIEW ESTATES	2/8/1989	25/69	2.54002216680081	2.54	
HESTER ESTATES	3/6/2020	2020/41	3.81298283336827	3.81	
TESNATEE ESTATES	1/8/2015	67/19	16.1515896580423	16.15	
ASBURY MILL ESTATES	1/5/2000	43/170	14.2677117129329	14.27	
OAK HILL ESTATES	7/27/1977	11/73	14.9517485316641	14.95	

NAME	DATE	PLAT_BOOK	GIS_AC	DEED_AC	COMMENTS
SOUTH SIDE ACRES	3/23/1987	19/33	25.7355946234081	25.74	
J & M ESTATES	6/6/1991	31/25	10.7935289930462	10.79	
STEVE BUCKALEW	4/23/1998	43/14	2.91652983790983	2.92	
GARY'S PLACE	11/7/2001	51/48	5.06794694446379	5.07	SPLT FR 49C-37'06 PB51-48
THE PINES PHASE 2	10/4/1990	19/288	14.7026334969573	14.70	
STEVE BUCKALEW	9/15/1998	43/62	3.82430114445576	3.82	
FOXWOOD	4/7/1993	31/126	12.4377628447405	12.44	
FLOYD WIMPY-RICKY WOODY	3/16/1987	19/32	27.1434457873213	27.14	
COUGAR GLEN	5/5/2000	48/35	10.4666729275705	10.47	
CHESTER COLSON	9/9/1983	16/90	10.0135112138286	10.01	
THE EAGLE'S NEST		16/89	12.1220583177713	12.12	
THE WILLOWS	2/17/1987	19/27	50.084047037947	50.08	
WILDWOOD	10/2/1973	7/67	46.3235067108755	46.32	
TOWN CREEK PROPERTIES	7/12/1983	16/69	80.8959697635679	80.90	
V.A. SAYRE	5/9/1983	17/81	82.5433365823302	82.54	
LLOYD STEWART CHESTER & CLAUDE COLSTON	12/20/1971	25/205	64.523856275096	64.52	
WILLIAM JESS MURPHY JR.	6/24/1985	20/113	290.299897077194	290.30	
CHICKASAW HILLS PHASE 2	1/14/1997	39/115	14.5183045783584	14.52	
HIGHLAND SHORES PHASE 2	5/8/1991	31/21	13.3726417055398	13.37	
IVY HILLS PHASE 1	5/11/1987	19/43	103.52763156177	103.53	
GLENN HOGAN	12/18/1998	43/78	16.9137282852531	16.91	
TILFORD BANKS	1/4/1996	37/142	4.26664566922901	4.27	
DEAN MOUNTAIN ESTATES	8/13/1990	29/20	8.97553662462243	8.98	
J & M FARM	10/6/1997	39/186	5.68771581272816	5.69	
ETHELENE MCCALLISTER	2/11/1993	33/9	9.35705141410962	9.36	
BUCKHORN PROPERTIES INC	1/3/2000	43/168	47.8918336432022	47.89	
JOHN D PALMOUR	12/14/1999	43/164	4.57954318367609	4.58	
E.T. IRVIN ESTATE	8/19/1994	A/52A	308.173449432816	308.17	
MOUNTAIN MEADOWS PHASE 2	7/21/1995	31/272	182.229971614082	182.23	
SYLVIA MERRILL	7/26/1979	13/135	4.40775009637513	4.41	
CLAUDE H. JONES ESTATE	1/3/2023		12.240599310768	12.24	
E.T. IRVIN ESTATE	3/11/1998	39/230	44.6524169927734	44.65	
TURNING LEAF	2/1/2023	2023/15	9.50624162811077	9.51	
RUBIE S. MEADERS & LIZZIE MAE STOVAL HORNE	2/19/1987	19/29	55.5428905790293	55.54	
CHICKASAW HILLS	1/14/1997	39/114	9.29487566803324	9.29	
LOTHRIDGE MEADOWS	5/3/1995	31/255	23.9098319123783	23.91	
ASH WOOD ESTATES PHASE 2	1/10/2000	43/174	7.38788292929302	7.39	
LAURELWOOD	9/7/1988	19/148	22.2858210676362	22.29	

NAME	DATE	PLAT_BOOK	GIS_AC	DEED_AC	COMMENTS
SKITTS VIEW	4/28/1989	19/194	12.0110723885212	12.01	
LILLIAN ALEXANDER ESTATE	12/6/1977	11/197	36.596666288407	36.60	
COUNTRY WALK	10/8/1987	23/79	18.209955364572	18.21	BLOCK 'A'
MRS J.C. GUNTER ESTATE	10/29/1986	22/37	48.297654324225	48.30	
RILEY CRUMLEY	3/11/1992	30/61	9.82723212931678	9.83	
PLANE VIEW	10/23/1993	31/101	9.48533472631128	9.49	
CHATTAHOOCHEE ACRES	8/28/1995	31/281	156.679781918245	0.00	
NORTH CHATTAHOOCHEE RIVER ESTATES PH.2	7/9/1996	39/74	81.921891860989	79.75	
JESSIE EDWARDS ESTATE	1/5/1994	16/108	49.9834414112174	48.99	
DAVID ALLEN	7/19/1988	23/258	5.96341655856949	7.96	
ARROWHEAD ACRES INC.	7/30/1985	16/219	28.2750806293462	0.00	
BURNS E. SIMS ET AL	5/14/1974	A/13	71.460435994894	0.00	
G.E. & LEAH ATWATER	8/16/1966	2/193	7.06589203222749	0.00	
ALL REGION REALTY INC.	5/8/1989	19/182	15.5939058094429	12.63	
OAK FOREST	9/29/1989	14/225	13.9979151032474	16.15	
ALL REGIONS REALTY CORP.	11/17/1988	19/162	10.159397906948	10.05	
LAVISTA WOODS	7/12/1989	19/213	18.0377703365844	21.19	
DAN THOMPSON	6/13/2002	51/115	21.3588740418344	20.07	
PREP, INC	5/30/1995	31/259	6.88887477323439	0.00	
NACOOCHEE HILLS BLOCK SIX	8/4/1980	14/61	94.7229517547367	85.20	
SKY MOUNTAIN ESTATES PH.2	1/3/1996	39/36	8.13280588629255	14.10	
TWIN KNOLLS BLOCK B	8/18/1987	23/50	12.8846654984816	7.11	
TWIN KNOLLS BLOCK A	5/12/1987	19/44	12.2400321762168	14.55	
JAMES M. DeLONG, JR	7/29/1997	39/163	39.8774136854357	45.09	
PANORAMA ESTATES SECTION W PH.1	4/20/1994	31/180	17.7989481201751	0.00	
PANORAMA ESTATES SECTION W PH.4	3/12/1993	43/95	22.5613836446306	22.31	
PANORAMA ESTATES SECTION D	7/15/1986	16/284	77.4210745150248	0.00	
HAMILTON ACRES	3/9/1994	31/175	14.4460009979041	14.37	
PANORAMA ESTATES SECTION C PH.2	5/6/1992	31/76	22.1787083559484	18.50	
PANORAMA ESTATES SECTION I	12/19/1990	19/302	51.822255736967	0.00	
DUNCAN BRIDGE ESTATES PH.3	6/7/2000	48/45	22.3506869572728	21.96	
DUNCAN BRIDGE ESTATES	4/10/1985	16/100	44.0961927396055	0.00	
YONAH VIEW ESTATES PH.2	2/12/1992	31/59	16.6289323485059	0.00	
YONAH VIEW ESTATES PH.1	11/17/1997	39/200	6.58735756977914	0.00	
YONAH VIEW ESTATES	11/25/1991	29/293	19.8199675411532	0.00	
LAND ASSET, LLC	12/1/2021	2021/218	59.6990758704954	59.27	
VELMA McLENDON ET. AL	8/25/1998	43/52	6.79269774600724	6.28	
DORTHY C. STRUBLE	8/21/2001	1309/548	27.4424725805892	25.71	

NAME	DATE	PLAT_BOOK	GIS_AC	DEED_AC	COMMENTS
CAMERON ACRES PH.1	10/7/1992	31/97	37.7346309324571	49.00	
EAGLE'S PASS	4/3/2002	52/126	5.04076565857526	4.29	
YONAH PEAK	8/11/1999	43/130	19.062583382328	13.28	
LEE FINCH	4/14/2004	56/77	3.19237372703983	3.39	SPLT TO 58C-97B'07
STEFINIE J. KENNY	3/22/2011	66/32	51.3370271789659	0.00	
HARRY P. MAYS	10/17/1977	11/145	37.4470421911415	25.51	
ANDREW DANIEL	5/14/2003	894/42	5.3065723915652	0.00	
ANDREW DANIEL	5/14/2003	894/42	1.5654491778021	0.00	
MT YONAH SCENIC ESTATES	11/22/1978	13/10	10.9577669943776	0.00	SECTION L
MT. YONAH SCENIC ESTATES	12/22/1976	10/141	9.05829581998517	0.00	R.A. HATHAWAY & ASSOC.
MT. YONAH SCENIC ESTATES	5/8/1969	25/103	18.4776815080809	0.00	SECTION 'A'
MT. YONAH SCENIC ESTATES	5/8/1969	3/237	8.4479268285107	0.00	SECTION 'M'
MT. YONAH SCENIC ESTATE	10/11/1972	6/98	25.2988550105815	0.00	SECTION 'C'?
EAGLE'S DOMAIN	9/7/2000	48/77	26.513469169211	21.01	
MARLAND FERGUSON	6/3/1976	A/36	17.6496394252237	25.20	
EVERETT HOPPER	9/4/1997	39/172	12.6131603193899	10.39	
NACOOCHEE HILLS	3/9/1982	15/155	37.1229747254299	29.12	BLOCK 2 LOTS 5-9
NACOOCHEE HILLS	8/4/1980	14/60	24.1303436428217	21.71	BLOCK 2 LOTS 1-4
KEVIN HERNANDEZ	2/4/2021	2021/17	44.9685900184547	43.94	SPLT TO 72-260K'11
DAVID CLARK	3/17/2020	2020/43	18.1480249629337	20.23	
RONALD E. POWELL	3/13/2007	61/104	41.2283966682977	0.00	
PINE RIDGE COUNTRY COTTAGES	7/14/2003	54/93	12.5084649086633	0.00	
CHA-TAH RIDGE	2/3/1994	31/170	24.9310275539132	26.25	1AC COMBD W/68-168'06 OWNER REQ
CANTRELL SUBDIVISION	8/7/2001	51/15	4.12136283565906	3.48	
SHADY LAUREL KNOB PH.2	6/17/2002	51/116	10.7830002603245	10.32	
NORTH FERN COVE ESTATE	4/12/2022	2022/55	4.275033167233	4.02	
LUCINDA DANIELS ET. AL	2/22/2002	51/74	82.3079058742069	84.21	
SKY RIDGE PH.1	9/14/1995	31/289	5.96974582207007	5.88	
SKY RIDGE PH.2	9/19/1995	31/290	11.3081952532444	0.00	
MOUNTAIN STREAMS PH.1	2/8/1990	19/239	38.6918606284188	23.82	
MOUNTAIN STREAMS PH.2	8/21/1990	19/278	13.8766436639622	0.00	
FOXFIRE RIDGE	1/21/03		23.4682142648243	25.26	
WILDERLAND	11/27/1972	6/120	57.5202578934053	0.00	
WALDHEIM INC.	7/19/1983	16/70	13.3374294528196	0.00	
TANGLEWOOD COUNTRY	4/21/1986	21/117	8.75925376559427	0.00	
JOHN KOENIG	5/3/1985	16/207	10.4337760445324	0.00	
RALPH KING	7/6/1978	12/61	4.66848923320532	4.06	
JAMES & BARBARA BUTLER	12/4/1989	27/17	5.02866512500936	0.00	PART OF COVERED BRIDGE

NAME	DATE	PLAT_BOOK	GIS_AC	DEED_AC	COMMENTS
			5.43904249614243	0.00	PART OF COVERED BRIDGE
HERB & PHYLISS RAU	12/27/1977	11/208	5.95740145908561	5.47	PART OF COVERED BRIDGE
OTHELL ROPER JARRARD ESTATE	10/28/2014	1550/265	12.4233558100825	9.09	
MILDRED SHORT KNIGHT ESTATE	2002	1556/214	77.6309873430229	84.47	
BETTY LEDFORD	5/1/1997	39/143	26.5264705767952	21.56	
CARLOS & DANIEL CAUDELL	6/1/2004	58/144	5.30808398852626	5.87	SPLT FR 31-90'06 DB1026-64/PB58-144
SUNSET VALLEY PH.3	9/7/1994	31/210	30.2137839508003	0.00	
SUNSET VALLEY PH.1	9/28/1992	30/213	36.0866921388729	0.00	
RANDY HEAD & TRAVIS THURMOND	12/8/1999	43/161	3.78126279921443	4.09	
MIKE D. SNIDER	9/11/1987	19/76	6.85556545670718	6.03	
NORTH SIDE FOREST	6/24/1961	1/201	18.3430161510493	0.00	
BERRONG MOULTON	1/21/2003	53/142	24.9990824741592	26.44	
BOCA HILLS UNIT 1	6/29/1972	A/17	77.7673702427312	0.00	
THE WOODS PH.1	5/11/1978	12/10	115.37237524116	0.00	
JERRY NICHOLSON	10/26/2004	57/123	15.4086156168785	14.47	
JERRY NICHOLSON	6/15/2005	59/43	31.6783987434023	30.55	SPLT TO 5-15G,J'06 PB59-43
PARADISE MOUNTAIN	5/2/1996	39/60	19.1847796970839	18.33	
PARADISE ACRES	2/22/1982	15/144	100.950052805454	0.00	
MILDRED KNIGHT	2/16/1983	17/25	159.693817169291	0.00	
TOWN CREEK ESTATES	5/20/1975	8/176	11.7482436303266	11.53	
TOWN CREEK ESTATES UNIT 2	10/29/1974	8/114	30.8243874868933	0.00	
JAMES MORRIW	3/21/1996	39/48	196.808345952608	0.00	
W.B. HARKINS ESTATE	6/29/2006	59/187	173.911521528561	155.62	SPLT FR 3-9'07
B.E. SIMS & LOYE ALLEN	8/20/1975	9/54	15.8653732496994	15.48	
MOUNTAIN SHADOWS UNIT 1	8/22/1978	12/101	47.5994355133747	0.00	
FOREST FARM	2/8/2005	59/125	18.6804066033847	19.87	
LOYD WILSON ESTATE	2/12/1983	15/136	19.6315621938702	24.02	
EDGAR T. HIGGINS ESTATE	6/20/1978	12/44	149.906733401396	141.51	
RUSSEL & CONSTANCE GERDTS	11/24/1981	15/75	20.9030671117002	0.00	
WHITE COUNTY LAND CO. & CLEVELAND LAND CO.	7/6/1972	6/35	15.4636172602598	0.00	
PEARL LEE JONES	4/4/2003	54/52	18.6666934036223	19.22	
HENRY MCMILLAN & C. DAVIS BROADWAY	4/30/1998	44/72	5.55647998987675	5.34	
BEULAH HULSEY	10/22/1991	31/46	12.661012034352	10.08	
WILLIAM & TERESA BORN	3/27/2007	61/109	10.4156946174169	11.11	SPLT FR 17-174F'06 PB57-116
ADAIR'S MILL PHASE 4	12/19/1990	19/301	33.6982898719737	0.00	
FIORELLA P. WEAVER	9/4/1990	29/35	20.7782055074062	19.18	
JENNIE M. MAHAFFEY	6/28/1969	3/260	26.3137252994593	25.23	SPLT TO 31B-70A'06 DB1046-307/PB58-200
GEORGE GLOVER	7/14/1998	43/38	102.535171033311	102.75	

NAME	DATE	PLAT_BOOK	GIS_AC	DEED_AC	COMMENTS
MINERS MOUNTAIN	10/24/1975	9/103	142.41777746636	0.00	
DEL JACKSON	9/21/1987	23/74	8.02347176943299	0.00	
UNKNOWN				0.00	
SKYLAKE				0.00	
				0.00	
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				0.00	
				0.00	
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				0.00	SPLT TO 58D-74M'06 DB1053-387/PB59-40
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				0.00	
EMERALD LAKE ESTATES	11/29/1994	31/224	50.5480670268752	83.45	
				0.00	
LOY SUTTON	11/12/1997	42/104	15.6922027305861	15.69	
				0.00	
				0.00	
				0.00	

NAME	DATE	PLAT_BOOK	GIS_AC	DEED_AC	COMMENTS
				0.00	
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				0.00	
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				0.00	
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				0.00	
NACOOCHEE CROSSROADS	2/5/1999	43/84	14.2851490713566	14.81	
				0.00	
				0.00	
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				0.00	
				0.00	
TILFORD BANKS	1/17/1995	35/59	3.95793103669803	3.96	
				0.00	
				0.00	
				0.00	
				0.00	
				0.00	
				0.00	
				0.00	
				0.00	
				0.00	
				0.00	
DEWEY HULSEY ESTATE	10/17/1995	31/301	103.418052831182	103.42	
DEWEY HULSEY ESTATE	10/17/1995	31/301	103.418052831182	103.42	
				0.00	
LAWRENCE & LOWELL PILGRIM	9/28/1990	27/127	4.66792947474	4.67	
BILLY & ARDETH CROSS	12/5/2002	54/3	15.2330944960542	15.23	
				0.00	
				0.00	

NAME	DATE	PLAT_BOOK	GIS_AC	DEED_AC	COMMENTS
				0.00	
				0.00	
				0.00	
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				0.00	
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				0.00	
				0.00	
LYMBURNER & WILSON ET. AL	10/1/1985	20/209	8.11928035749789	8.12	



WHITE COUNTY

Board of Commissioners

Item Title: Renovations - Fire Station 6 & 4

For Meeting Date: 12/4/2023

Work Session **Regular Meeting** **Public Hearing**

Category (Select One): SPLOST Request

Submitted By: David Murphy

Attachments: Yes **If yes, please list each file name below:**

1. FY24 CIP Page Document
2. RFP Solicitation Package
3. Bid Reponses - 3 Vendors

Purpose:

To renovate existing Fire Stations 6 (Hwy 129N) & 4 (Westmoreland Rd) for current use with 24 hour personnel.

Background / Summary:

- Original stations were built as volunteer fire stations.
- Stations now used to house 24 hour personnel - seven days a week.
- Planned expenditures in the FY24 CIP.
- Original CIP noted expense of \$175,000

Department Recommendation:

Department recommends to renovate existing fire stations 6 & 4 for current use and needs of both fire and EMS departments. See Director's summary sheet.

Options:

- Renovate only Station 6.
- Building and Grounds Maintenance Department considering in house labor, and hiring temporary employee for the project.
- Change in scopes, reducing some of the options at Station 4 with selected contractor.
- No renovations and/or rebid project for a third attempt.

Budget Information: Applicable Not Applicable

Budgeted: Yes No

Finance Director's Comments (if applicable):

-

County Manager Comments:

-



Department Review and Summary

After the second solicitation of the RFP for Station Renovations for Station 6 on Hwy 129N and Station 4 on Westmoreland Rd, we received three bids:

1. HEC Construction, Winder GA
2. Dream Garage Builders, Gainesville GA
3. Kochis Construction, Cleveland GA

These proposals ranged from \$ 182,176.10, the highest, to \$ 81,216.74, the lowest. This equals a 55.42% difference, while the scope of work remained the same.

The two lowest bids do not have the Workers Compensation insurance. The Dream Garage Builders stated they would require subcontractors to provide proof of the WC insurance. Kochis Construction is less than three (3) employees, and other than Mr. Kochis are part-time.

Kochis did not attend the pre-bid meeting as scheduled, however, he did schedule another time with Chief LeFevre to review Station 4 on Westmoreland. Kochis Construction originally set the specifications for the project and already knew most of the scope as he at the time was a full-time firefighter, and since has returned to volunteer status.

By county financial policy, and as the Department Manager, I can only recommend the company meet the submission requirements, which in this case is HEC Construction, Winder GA.

Of course, the Board of Commissioners can choose other options and/or vendor at their discretion.

This project is listed in the CIP for FY2024 and was originally placed at a total of \$175,000 which included HVAC (already awarded at \$13K to A&A) and was also changed in scope to not add include new square footage to Station 6.

The department seeks guidance from the BOC considering the substantial difference in price and submission requirements.

FIRE STATION 4 & FIRE STATION 6

RENOVATIONS

PROJECT# 2023-WCFS-001-A

Bids/Quotes Received

Vendor:

<u>HEC CONSTRUCTION</u>	<u>WINDER GA</u>
<u>DREAM GARAGE BUILDERS</u>	<u>GAINESVILLE GA</u>
<u>KOCHIS CONSTRUCTION LLC</u>	<u>CLEVELAND GA</u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>

White County Staff Present:

<u>Mike Leferre</u>
<u>Bryce Barrett</u>
<u>Mitch Anne</u>
<u>Jodi Ligon</u>
<u> </u>



**WHITE COUNTY
GEORGIA**

White County Board of Commissioners

Project # 2023-WCFS-00-1-A

Submission Requirements

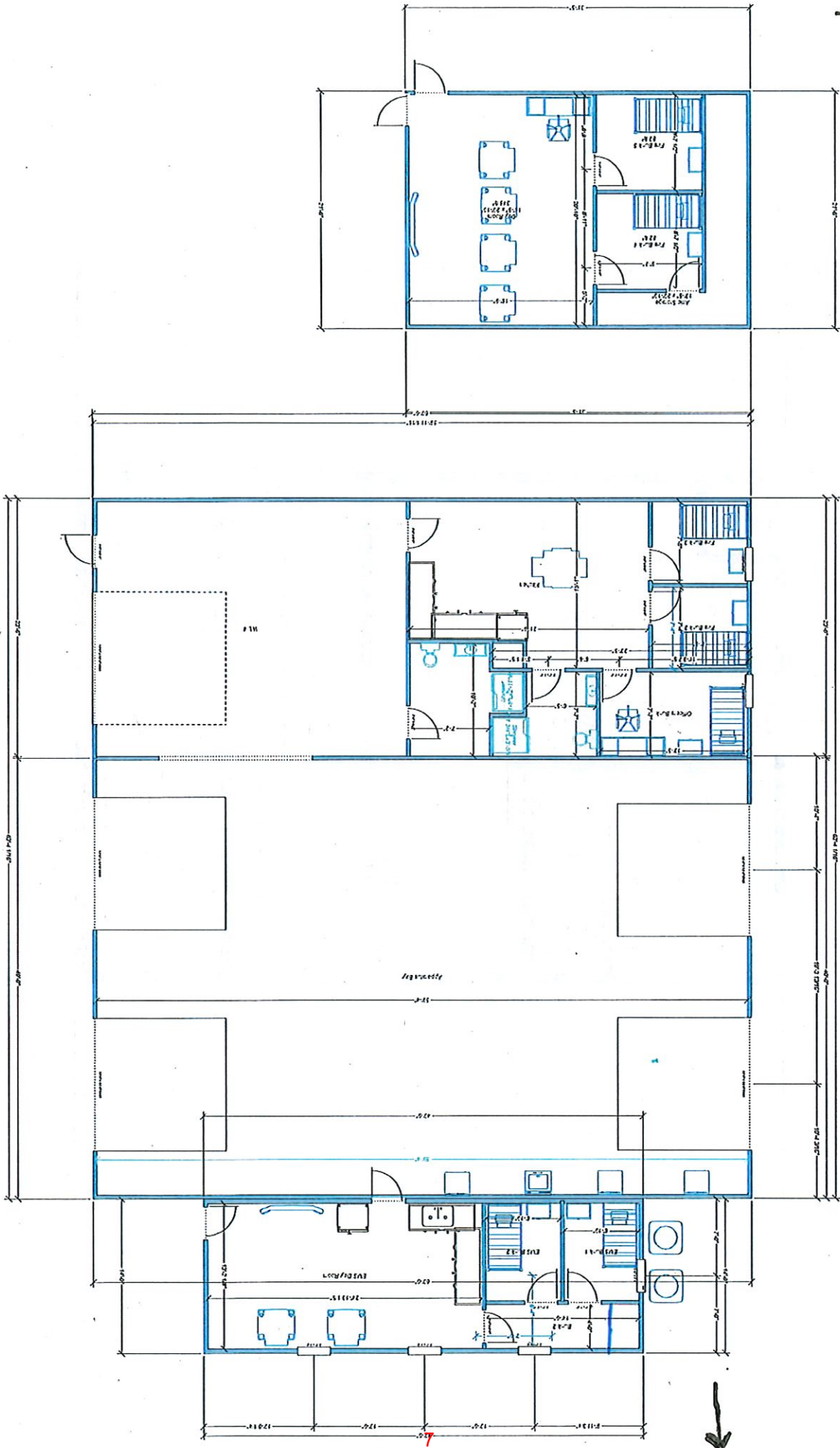
Company Name:	HEC Construction		Dream Garage		Kochis Construction	
	Winder, Georgia		Gainesville, Georgia		Cleveland, Georgia	
Submission Requirements						
Attended Mandatory Pre-Bid Meeting	✓		✓		X	
Appendix A – Bidder’s Certification	✓		✓		✓	
Appendix B – E-Verify	✓		✓		Completed Exempt Form	
Appendix C – Pricing Sheet	✓		✓		✓	
W-9	✓		✓		✓	
Certificate of Proof of Insurance	✓		✓		✓	
Insurance Type	Liability	Workers Comp.	Liability	Workers Comp.	Liability	Workers Comp.
	✓	✓	✓	X	✓	X
Information Sheets	N/A		N/A		N/A	
Signed Addendum	✓		✓		X	
Pricing	\$182,176.10		\$179,920.18		\$81,216.74	

FIVE YEAR CIP FOR WHITE COUNTY

FISCAL YEAR 2024:

Department	Capital Item Description	New or Replacement	Estimated Cost	Funding Source
General Fund				
Fire Services	QRV - F250 or Equivalent / Administrative Command Vehicles (1)	Replacement	\$ 80,000	SPLOST
Fire Services	Station Renovations - Station 4 & 6	Replacement	\$ 175,000	HVAC - \$13K SPLOST
Fire Services	Thermal Imaging Camera - E3	Replacement	\$ 6,000	SPLOST
Fire Services	Extrication Equipment - E2 & E4	Replacement	\$ 80,000	SPLOST
Animal Services	Shor-Line Stainless Steel Cage Assembly	Replacement	\$ 12,000	GENERAL FUND
Emergency Management	EOC Upgrade with Functional Back-Up System	New	\$ 30,000	SPLOST
Special Revenue Funds				
Emergency 911	Console Desks	Replacement	\$ 125,000	RESTRICTED WIRELESS
Emergency 911	Facility Improvements (Flooring/Comestic)	Replacement	\$ 10,000	GENERAL FUND
Grant Funds				
Hazard Mitigation Grant Program	Generators, Fire Stations 2, 3, 4, 5, 6, 7	Replacement	\$ 112,334	GRANT FUND
Hazard Mitigation Grant Program	Generator, Animal Services	Replacement	\$ 20,653	GRANT FUND
Hazard Mitigation Grant Program	Generator, Daybreak Tower Site	Replacement	\$ 26,092	GRANT FUND
Total Cost for FY2024:			\$ 677,079.00	
General Fund \$ 27,000				
SPLOST2020 \$ 371,000				
E911 Fund \$ 135,000				
Solid Waste \$ 0				
Grants \$ 159,079				

Station 4



QUOTE

Kochis Construction LLC.

INVOICE # 2369
DATE: 9/19/2023

Kevin Kochis
370 Post Circle Road.
Cleveland, Ga 30528
Kevin.kochis27@gmail.com
Kevin (706) 969-5783

EXPIRATION DATE: 10/19/2023

TO White County Public Safety

1241 Helen Hwy. Suite 100
Cleveland, Ga 30523

SALESPERSON	JOB	PAYMENT TERMS	DUE DATE
Kevin Kochis	White County Station 4	Labor due upon completion of projects	Labor due upon completion of projects

QTY	DESCRIPTION	UNIT PRICE	TOTAL
1	36" pre-hung 6-panel interior doors (six)		\$1,456.22
1	Framing package for all new walls, closets, shelving and doors, step up-grade and repairs to existing areas in need of repair		\$3,258.26
1	Sheetrock, screws, corner beads, mud and tape		\$1,184.49
1	Screws, nails, bolts, and all fasteners		\$492.89
1	Base molding to match and additional cove base and adhesive for new and existing walls		\$762.59
1	Electrical outlets, switches, stove and added lights and fixtures including wire, junction boxes, and breakers		\$1,648.22
1	775 sq' of flooring including all transitional strips and adhesive		\$2,493.50
1	Cabinets, kitchen sink, faucet, and counter tops		\$2,776.70
1	Bathroom vanity with faucet (Two)		\$660
1	Plumbing materials, drains, supply lines and valves		\$472.56

1	Silicone, weather stripping, glue, and caulk, for existing windows and doors		\$352.58
1	Vent fans and ducts for existing bathrooms and ice closets.		\$276.47
	Total Material Cost:		\$15,834.48
	Total Labor:		\$10,600
		SUBTOTAL	
		SALES TAX	
		TOTAL	\$26,434.48

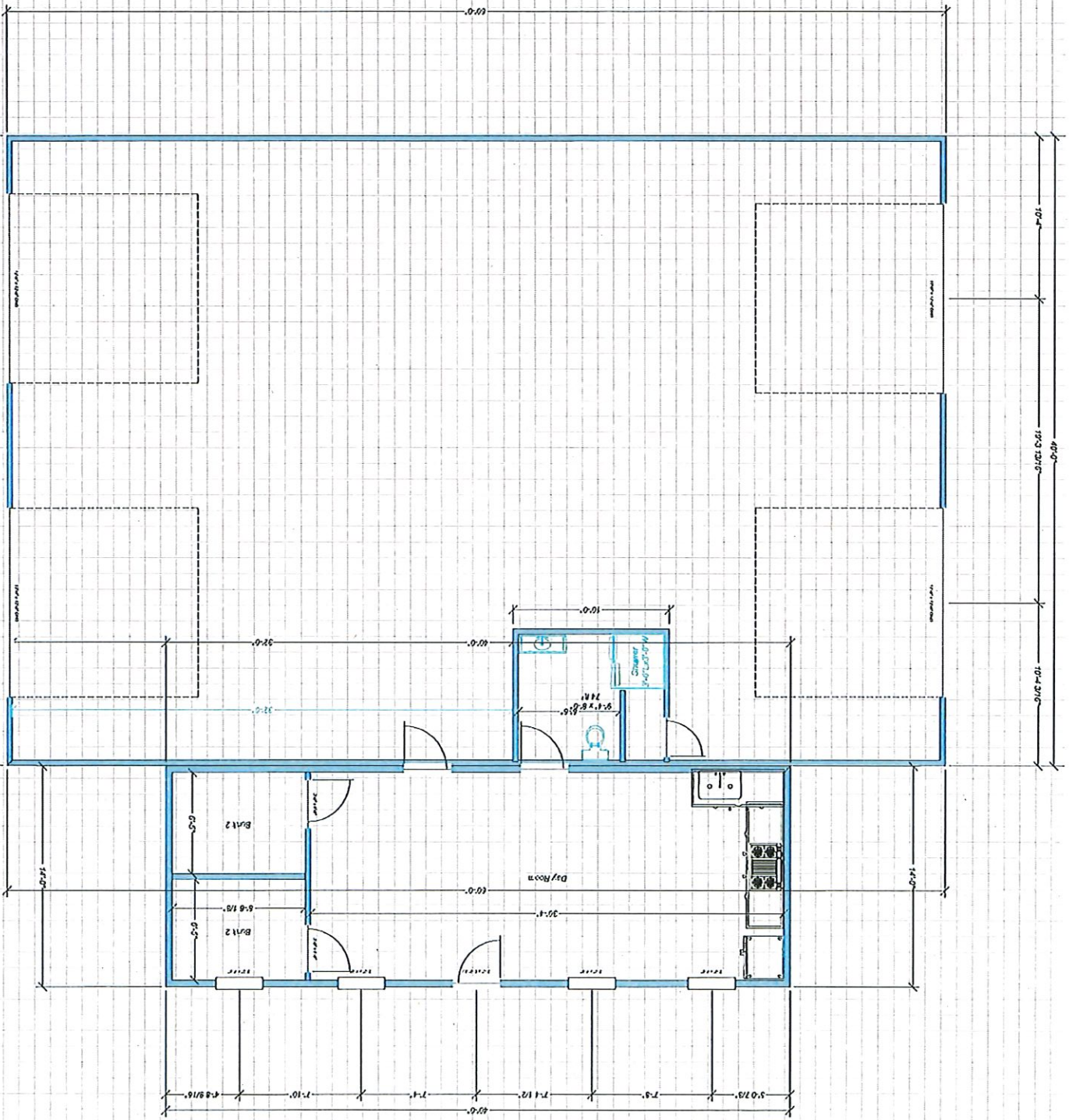
Quotation prepared by: Kevin Kochis 9/19/2023 Kevin Kochis _____

This is a quotation on the goods named, subject to the conditions noted below: Describe any conditions pertaining to these prices and any additional terms of the agreement. You may want to include contingencies that will affect the quotation.

To accept this quotation, sign here and return: _____

THANK YOU FOR YOUR BUSINESS!

STATION 6



QUOTE

Kochis Construction LLC.

INVOICE # 2362
DATE: 9/19/2023

Kevin Kochis
370 Post Circle Road.
Cleveland, Ga 30528
Kevin.kochis27@gmail.com
Kevin (706) 969-5783

EXPIRATION DATE: 10/19/2023

TO White County Public Safety

1241 Helen Hwy. Suite 100
Cleveland, Ga 30523

SALESPERSON	JOB	PAYMENT TERMS	DUE DATE
Kevin Kochis	White County Station 6	Labor due upon completion of projects	Labor due upon completion of projects

QTY	DESCRIPTION	UNIT PRICE	TOTAL
1	Wood framing materials for walls and doors and shelves,		\$ 1,734.87
1	Sheetrock, screws, tape, and mud		\$ 284.49
6	6 panel pre-hung interior doors		\$ 933.44
1	775sq' (\$2.50 a square foot) flooring plus adhesive (glue) / Cove base and glue, plus 2 pieces of plywood for discrepancies in the existing floor.		\$ 3,756.34
1	30-inch bathroom vanity (sink and faucet included) and new toilet		\$ 330.00
1	Electrical (outlets and switch boxes, 12/2 wire, 6/3 wire and plug for stove)		\$ 815.74
1	Plumbing (kitchen sink, faucet, all supply lines, all shut-off valves, piping, fittings, clamps, and ice maker supplies, pee traps, etc....)		\$779.48
1	Nails, screws, and fasteners		\$208.28
1	Cabinets (Lower and upper) and countertop (Formica)		\$ 1,920.18
1	12 inch Vent fan and exterior vent for ice maker room		\$ 263.23

1	Silicone, weather stripping, glue, and caulk		\$ 122.23
	Total Material Cost:		\$ 11,148.28
	Total Labor:		\$ 8,600
			SUBTOTAL
			SALES TAX
			TOTAL
			\$ 19,748.28

Quotation prepared by: Kevin Kochis 9/19/2023 Kevin Kochis _____

This is a quotation on the goods named, subject to the conditions noted below: Describe any conditions pertaining to these prices and any additional terms of the agreement. You may want to include contingencies that will affect the quotation.

To accept this quotation, sign here and return: _____

THANK YOU FOR YOUR BUSINESS!



A & A ELECTRIC, INC.
GA LICENSE # CN5643
3699 B. C. GRANT RD.
CORNELIA, GA 30531
706-778-7306

706-776-2507 FAX

1-800-537-0991

gansley@aandaelectricinc.com

August 21, 2023

White County Fire Station #6,

A & A Electric is pleased to submit to you the following quote.

Install: 2.5-ton Lennox Heat Pump with 14.40 SEER/

(1) CBA25UH-030-230 (1) ECBA25-10, and (1) ML17XP1-030-230

Price ----- \$12,612.00

Warranty: One-year Labor warranty. The Compressor has a five-year limited warranty only, no labor.

Your may cancel this transaction without any penalty within Three Business Day's of the signed contract.

This price does not include any permits required.

The above price is valid for 90 days.

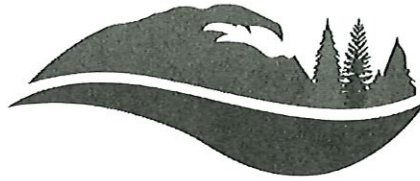
Payment: In full upon completion of each job.

Purchaser agrees to pay All Attorney's Fee and Court Cost if legal action is required for collection.

Signature

Date of Acceptance

Greg Ansley



**WHITE COUNTY
GEORGIA**

**INVITATION TO BID
RE-SOLICITATION**

*FIRE STATION 4 AND FIRE STATION 6
RENOVATIONS*

ISSUING AGENCY

WHITE CO BOARD OF COMMISSIONERS
1235 HELEN HIGHWAY
CLEVELAND GA 30528
PHONE: 706-865-2235
FAX: 706-865-1324

ISSUING DATE

MONDAY, NOVEMBER 13, 2023

**BID CLOSING DATE
BID CLOSING TIME**

**TUESDAY, NOVEMBER 28, 2023
2:00PM EST**

PROJECT NUMBER

2023-WCFS-001-A

INVITATION TO BID

THE WHITE COUNTY BOARD OF COMMISSIONERS IS REQUESTING SEALED BIDS FOR THE RENOVATIONS OF WHITE COUNTY FIRE STATION 4 AND WHITE COUNTY FIRE STATION 6.

SEALED BIDS WILL BE RECEIVED BY WHITE COUNTY BOARD OF COMMISSIONERS, FINANCE DEPARTMENT, 1235 HELEN HIGHWAY, CLEVELAND, GEORGIA 30528 UNTIL **2:00 PM, EST, ON TUESDAY, NOVEMBER 28, 2023**. LATE BIDS WILL NOT BE CONSIDERED NOR RETURNED.

THE BID DOCUMENTS AND SPECIFICATIONS ARE AVAILABLE FOR INSPECTION AT THE WHITE COUNTY BOARD OF COMMISSIONERS, 1235 HELEN HIGHWAY, CLEVELAND, GEORGIA 30528 AND ON THE COUNTY WEBSITE WHITECOUNTYGA.GOV UNDER BIDS AND RFPs.

BIDS MAY NOT BE WITHDRAWN FOR SIXTY (60) DAYS AFTER THE TIME AND DATE SET FOR CLOSING, EXCEPT AS ALLOWED BY OCGA. WHITE COUNTY RESERVES THE RIGHT TO REJECT ANY AND ALL BIDS AND TO WAIVE ANY TECHNICALITIES.

PROJECT DESCRIPTION

THIS RENOVATION WILL ENHANCE AND MODERNIZE THE LIVING QUARTERS THAT ARE CURRENTLY OUTDATED AND IN SEVERE NEED OF EXPANSION.

WHEN THE LIVING QUARTERS WERE ORIGINALLY CONSTRUCTED THEY WERE BUILT TO HOUSE VOLUNTEERS AND EMS. SINCE THAT TIME, THE DYNAMICS OF WHITE COUNTY FIRE SERVICES HAVE CHANGED FROM A VOLUNTEER SERVICE TO A FULL TIME CAREER SERVICE THAT NOW HOUSES UP TO A COMBINED 5 AND POSSIBLY 6 FIREFIGHTERS / MEDICS 24 HOURS A DAY, 7 DAYS A WEEK.

THE UPDATED QUARTERS WILL PROVIDE EACH FIREFIGHTER AND MEDIC EXPANDED, INDIVIDUAL SLEEPING AREAS, A MODERNIZED KITCHEN AREA, AS WELL AS A MORE SPACIOUS LIVING AREA. THESE IMPROVEMENTS WILL CONTRIBUTE TO ENHANCING THE QUALITY OF LIVING FOR THE FIREFIGHTERS WHO MAKE THIS THEIR HOME 24 HOURS AT A TIME.

1.0 INTRODUCTION

1.1 Purpose of Procurement

The White County Board of Commissioners is requesting sealed bids for renovations to White County Fire Services Station 4 located at 1650 Westmoreland Road, Cleveland, Georgia 30528 and White County Fire Services Station 6 located at 6449 US-129, Cleveland, GA 30528. Renovations include the living quarters for fulltime Fire Personnel.

1.2 Schedule of Events

This Invitation to Bid shall be governed by the following schedule:

Monday, November 13, 2023	Release of Invitation to Bid
Tuesday, November 21, 2023	Required Pre-Bid Meeting at Stations **See 1.4 Pre-Bid Meeting for more information
Wednesday, November 22, 2023 5:00pm EST	Deadline for written questions
Thursday, November 23, 2023 12:00pm	Answers for written questions (Addendum)
Tuesday, November 28, 2023 2:00pm EST	Bids Due

1.3 Restrictions on Communications

From the issue date of this Invitation to Bid until a contractor is selected and the award is announced, Contractors are not allowed to communicate **for any reason** with any County staff or elected officials except: 1) through the Finance Director or Finance Assistant named herein, 2) at the Pre-Bid Meeting (if applicable) or 3) as provided by existing work agreement(s). The County reserves the right to reject the submittal of any bidder violating this provision.

1.4 Pre-Bid Meeting

A Pre-Bid meeting will be held on **Tuesday, November 21, 2023 at 10:00am EST** at Fire Station 4 located at 1650 Westmoreland Road, Cleveland, Georgia 30528. The meeting will also include a preview of Station 6 located at 6449 US-129, Cleveland, GA 30528. **All contractors or a designated representative of the contractor is *required* to attend the Pre-bid meeting in order to submit a bid. This will be the only opportunity to view the stations.**

1.5 Questions & Addenda

All questions concerning this bid **must be submitted in writing** (email is preferred but mail may be used) to the Finance Assistant no later than **Wednesday, November 22, 2023, 5:00pm EST**.

The Inquiries must be directed to:

**Misti Lane, Finance Assistant
White County Board of Commissioners
1235 Helen Highway
Cleveland, GA 30528
mlane@whitecounty.net
Fax (706) 865-1324**

No response to inquiries other than written will be binding upon the County. White County reserves the right to issue written addenda to any inquiries that alter the scope of the Invitation to Bid. Addenda shall be posted to the county website, www.whitecountyga.gov under the Bids & RFPs tab no later than **Thursday, November 23, 2023, 12:00pm EST**. A signed copy of any addenda shall accompany submitted bids. Bidders are advised to check the website for addenda before submitting their bids.

1.6 Contract Terms

Once the project is awarded, the White County Board of Commissioners will enter into contract with the awarded Contractor. The White County Board of Commissioners expects renovations to commence within 30 days of signed contract and to be completed within 90 days of signed contract.

1.7 Bonds

Bid Bonds	Not required
Performance and Payment Bonds	Not required

1.8 Submission of Bids

One (1) original of the complete signed submittal must be received no later than **Tuesday, November 28, 2023, 2:00pm, EST**. Bids must be submitted in a sealed envelope stating on the outside, the vendor’s name, address and **“2023-WCFS-001-A”** to:

**Misti Lane, Finance Assistant
White County Board of Commissioners
1235 Helen Highway, Cleveland, GA 30528**

Bid submissions must include:

- Completed Bidder’s Certification – Appendix A
- Completed E-Verify – Appendix B
- Completed Pricing Sheet – Appendix C
- Completed W-9
- Certificate or Proof of Insurance
- Information Sheets, Brochures, Specifications Sheets, Cut Sheets, Warranty Sheets, etc. regarding the product you have quoted
- Signed Addendum (if any)

Bid responses submitted by fax or electronic mail (email) will NOT be accepted.

Bidders are advised to allow adequate time for shipping. **Many express mail and delivery services do not guarantee overnight delivery by 2:00pm to White County.** Any bid received after **2:00pm on November 28, 2023**, will not be opened.

1.9 Withdrawal of Bid Due to Errors

Bidders shall have up to forty-eight (48) hours to notify the White County Finance Director or Finance Assistant, in writing, of an obvious clerical error made in the calculation of bid in order to withdraw a bid after bid opening. Bids may be withdrawn from consideration if the price was substantially lower than the other bids due solely to a mistake. The bidder shall provide evidence that the bid was submitted in good faith, and that the mistake was a clerical mistake as opposed to a judgment mistake. The bidder's original work papers shall be the sole acceptable evidence of error or mistake. If a bid is withdrawn under this provision, the lowest remaining responsive bid shall be deemed low bid.

No bidder who is permitted to withdraw a bid shall for compensation, supply any material or labor, perform any subcontract or other work agreement for the person, or firm to whom the contract is awarded.

Bid withdrawal is not automatically granted and will be allowed solely at White County's discretion.

1.10 Determination of Award

Any purchase order / contract awarded pursuant to this Invitation to Bid shall be awarded to the lowest responsive and responsible bidder whose bid response meets the requirements and specifications set forth in this Invitation to Bid. A "responsive bidder" is a bidder who has submitted a bid response, which conforms in all material respects to the bid. A "responsible bidder" is a bidder who has the capacity in all respects to perform fully the contract requirements and the integrity and reliability which will assure good faith performance. The White County Board of Commissioners reserves the right to determine which bidder should be awarded the project which deems to be in the best interest of the County.

2.0 SPECIFICATIONS AND TERMS

The White County Board of Commissioners is requesting sealed bids for renovations to White County Fire Services Station 4 located at 1650 Westmoreland Road, Cleveland, Georgia 30528 and White County Fire Services Station 6 located at 6449 US-129, Cleveland, GA 30528. Renovations include the living quarters for fulltime Fire Personnel.

Scope of Work:

1. Renovations to Station 4 living quarters including front living quarters and rear living quarters and upstairs. Attachment A outlines project specifications and expectations.
2. Renovations to Station 6 living quarters and adjacent bathroom into bay area. Attachment B outlines project specifications and expectations.
3. Contractor expected to provide all materials to complete project. This is to be included in pricing sheet.
4. Contractor is responsible to provide clean up upon completion of project.
5. Contractor is responsible for any and all subcontracted work.

2.1 Condition of Materials

It is understood and agreed that materials delivered shall be new, of latest design, and in first quality condition and must meet building code specifications.

2.2 Self-Permitting Agreement

It is understood that White County Government is responsible for obtaining its own building permits for the project and construction.

2.3 Continuity of Operations

Renovations are expected to be completed in stages to accommodate for 24 hour / 7 day a week Fire and EMS Personnel. These stations are functioning fire stations and must remain operational throughout the duration of the project.

2.4 Work Hours

Site Work is limited to Monday – Saturday 8:00am to 6:00pm.

2.5 Materials Provided

White County Office of Public Safety will be providing the paint for the remodel.

2.6 Flooring Specifications

Furnished and Installed
Shaw Contract Abide LVP – Color: Raw Umber Oak
Johnsonite 4” Rubber Cove Base – Color: Dark Brown
Minor Floor Prep & Sanding of Existing VCT
Pull and Re-Set Toilets with new seals

Lead time for project completion, information sheets, brochures, specification sheets, cut sheets, warranty sheets, etc., for the product you have bid should be included with your bid submission.

3.0 GENERAL TERMS AND CONDITIONS

See Section 1.0 Introduction for submission requirements specific to this Invitation to Bid.

3.1 Bid Amendments

The County reserves the right to amend this Bid prior to the bid due date. All addenda and additional information will be posted to the County website, www.whitecountyga.gov, no later than **12:00pm on November 23, 2023**. It is the Bidder’s responsibility to check the website for addenda before submitting a Bid. A signed copy of any and all addenda is to be included with the original bid submission.

3.2 Bid Withdrawal

A submitted bid may be withdrawn prior to the due date by a signed written request to the Finance Director or Finance Assistant.

3.3 Cost for Preparing Bids

The cost for developing the bid is the sole responsibility of the Bidder. The County will not provide reimbursement for such costs.

3.4 Conflict of Interest

If a Bidder has any existing client relationship that involves White County, the Bidder must disclose each relationship.

3.5 Contractor Selection

White County reserves the exclusive right to determine which Bidder should be awarded the project. The County also reserves the right to reject any or all bids at its discretion with or without cause.

5.6 Negotiations with Apparent Winner

Prior to award, the apparent winning Bidder will be required to enter into discussions with the County to resolve any contractual differences. These discussions are to be finalized within one (1) week of notification unless extending the time period is advantageous to the County. Failure to resolve differences will lead to rejection of the Contractor's bid.

The County reserves the right to negotiate modifications and costs with the successful Bidder provided that no such modifications affect the evaluation criteria set forth herein.

The Contractor shall commence work only after the transmittal of a fully executed contract and Notice to Proceed from the County.

3.7 Taxes

White County is exempt from taxes; however, the Contractor shall pay all taxes required of him by law. White County cannot exempt others from tax.

3.8 Bid/Proposal Bonds, Payment Bonds, Performance Bonds (if required)

NOT APPLICABLE FOR PROJECT # 2023-WCFS-001-A

A five percent (5%) Bid Bond and a one hundred percent (100%) Performance and Payment Bond shall be furnished to White County if stated as required in Paragraph 1.7 in the "Introduction" section of this document. Failure to submit appropriate bonding will result in automatic rejection of bid. Bonding company must be authorized to do business in Georgia by the Georgia Insurance Commission, listed in the Department of Treasury's publication of companies holding certificates of authority as acceptable surety on Federal bonds and as acceptable reinsuring companies, and have an A.M. Best rating.

3.9 Compliance with Laws

The Contractor will comply with all State and Federal laws, rules, and regulations.

3.10 Cancellation

White County reserves the right to terminate the contract immediately in the event that the Contractor discontinues or abandons operations; is adjudged bankrupt or is reorganized under any bankruptcy law; or fails to keep in force any required insurance policies or bonds.

Failure of the successful contractor to comply with any section or part of the contract will be considered grounds for immediate termination of the contract by the County without penalty to White County. White County shall pay for services rendered up to the point of termination. Notwithstanding anything to the contrary contained in the contract between the County and the successful contractor, the County may, without prejudice to any other rights it may have, terminate the contract for convenience and without cause, by giving thirty (30) days written notice to the successful contractor.

If the termination clause is used by the County, the successful contractor will be paid by the County for all scheduled work completed satisfactorily by the successful contractor up to the termination date set forth in the written termination notice.

3.13 Rejection of Submissions/Cancellation of Bids

White County reserves the right to reject any or all bids, to waive any irregularity or informality in a bid, and to accept or reject any item or combination of items, when to do so would be to the advantage of White County. It is also within the rights of White County to reject bids that do not contain all elements and information requested in this document. White County reserves the right to cancel this Invitation to Bid at any time. White County will not be liable for any cost/losses incurred by the Contractors throughout this process.

3.14 Non-discrimination

White County does not discriminate on the basis of race, religion, color, sex, national origin, age, or disability.

3.15 Payment

Contractor shall itemize all invoices in full. The original of the invoice shall be mailed to:

**White County Board of Commissioners
Attn: Accounts Payable
1235 Helen Highway
Cleveland, GA 30528**

50% of awarded funds is payable at the time of contract award. 95% of total payment will be made upon project completion. A 5% retainage will be held on the project and payable upon inspection and approval of the Fire Chief.

Each invoice must include the following information:

1. Date of Invoice
2. Service Performed
3. Billing Period
4. Terms
5. All billable items must be itemized
6. Appropriate Unit of Measure

Contractor must furnish documentation identifying that this work has been completed in accordance with specifications, quantities, and price as set forth in the contract.

Approved invoices (less retainage) will be paid within 30 days of approval.

Invoices missing any of the information listed above will not be accepted for payment but will be returned to the Contractor for correction.

3.16 Insurance

The Contractor shall be responsible for his work and every part thereof, and for all materials, tools, equipment, appliances, and properties of any and all description used in connection with this project.

The Contractor assumes all risks of direct and indirect damage or injury to the property of persons used or employed on or in connection with the work contracted for, and of all damage or injury to any person or property wherever located, resulting from any action, omission, commission or operation under the Contract, or in connection in any way whatsoever with the contracted work.

The Contractor shall, during the continuance of all work under the Contract, provide the following:

1. Maintain statutory Worker's Compensation and Employer's Liability insurance in an amount of not less than \$1,000,000.00 to protect the Contractor from any liability or damages for any injuries (including death and disability) to any of its employees, volunteers, or sub-contractors, including any and all liability or

damage which may arise by virtue of any statute or law in force within the State of Georgia, or which may be herein after enacted.

2. The Contractor agrees to maintain Comprehensive General Liability insurance in an amount of not less than \$1,000,000.00 per occurrence to protect the Contractor, its sub-contractors, and the interest of the County, against any and all injuries to third parties, including bodily injury and personal injury, wherever located, resulting from any action or operation under the Contract or in connection with the contracted work. The General Liability insurance shall also include the Broad Form Property Damage Liability endorsement, in addition to coverage for explosion, collapse, and underground hazards, where required.
3. The Contractor agrees to maintain Automobile Liability Insurance in an amount of not less than \$500,000 per occurrence. Such insurance shall include coverage for owned, hired, and non-owned automobiles.
4. The Contractor further agrees to protect, defend, indemnify, and hold harmless White County, its commissioners, officers, agents, and employees from and against any and all liability incurred whatsoever as a result of the work performed pursuant to the terms of this Bid.
5. The Contractor shall notify the County, in writing, sixty (60) days prior to any change in insurance coverage, including cancellation, non-renewal, etc. The Contractor shall furnish a new certificate prior to any change or cancellation date. The failure of the Contractor to deliver a new and valid certificate shall result in suspension of all payments until the new certificate is furnished. Additionally, contract work may be suspended until the new certificate is furnished to the County.
6. Insurance coverage required in these specifications shall be in force throughout the Contract term. Should the Contractor fail to provide acceptable evidence of current insurance within five (5) days of written notice at any time during the Contract term, the Owner shall have the absolute right to terminate the Contract without any further obligation to the Contractor. Further, the Contractor shall be responsible for the cost of procuring the uncompleted portion of the Contract at the time of termination.
7. Contractual and other Liability insurance provided under this Contract shall not contain a supervision, inspection, or engineering services exclusion that would preclude the County from supervising and/or inspecting the project as to the end result. The Contractor shall assume all on-the-job responsibilities as to the control of persons under its direct employment and of the sub-Contractors and any persons employed by the sub-Contractor.
8. The Contractor and all sub-Contractors shall comply with the Occupational Safety and Health Act of 1970, and amendments, as it may apply to this Contract.
9. If the Contractor does not meet the insurance requirements of the specifications, alternate insurance coverage satisfactory to the County may be considered. The

Contractor shall be responsible for the costs of any and all alternate insurance coverage so obtained.

A "Certificate of Insurance" showing White County Board of Commissioners as the Certificate Holder must be provided prior and incorporated as part of the award contract.

3.17 Project Coordination

The Contractor shall employ and assign only qualified and competent personnel to perform any service or task involved in this project. The Contractor shall designate one such person as a Project Manager, and the Project manager shall be deemed to be the Contractor's authorized representative, who shall be authorized to receive and accept any and all communications from the County. The County shall name a Project Manager who shall be authorized to generate, receive and accept communication as an authorized representative of the County.

The Contractor hereby agrees to replace any personnel or sub-contractor, at no cost or penalty to the County, if the County reasonably determines that the performance of any sub-contractor or personnel is unsatisfactory.

3.18 Accuracy of Work

The Contractor shall be responsible for the accuracy of the work performed and shall promptly correct its errors and omissions without additional compensation. Acceptance of the work by the County will not relieve the Contractor of the responsibility for subsequent correction of errors, the clarification of any ambiguities, or the costs associated with any additional work caused by negligent acts, errors, or omissions by the Contractor or latent defects in the products sold by the Contractor.

At any time during the execution of this project or during any phase of work performed by others based on data secured by the Contractor under this Agreement, the Contractor shall confer with the County for the purpose of interpreting the information supplied by the Contractor and to correct any errors or omissions. The above consultations, clarifications, and/or corrections shall be made without added compensation to the Contractor. The Contractor shall give immediate attention to these changes so there will be minimum delay to others. The Contractor shall be responsible for errors and omissions and save harmless the County and its agents as provided in this Agreement.

3.19 Ownership

Reports, plans, data, statistics, specifications, and other supporting records compiled or prepared in the performance of the Services required by this Contract, shall be the absolute property of the County and shall not be used by the Contractor for purposes unrelated to this Contract without the prior written approval of the County. Such original documents shall be turned over to the County upon completion of the contract except that Contractor shall have the right to retain copies of the same.

3.20 News Releases by Contractor

As a matter of policy, the County does not endorse the products or services of a Contractor. News releases concerning any resultant contract from this solicitation shall not be made by a

Contractor without the prior written approval of the County. All proposed news releases shall be routed to the White County Clerk for review and approval.

3.21 Severability/Cancellation

It is understood and agreed by the parties hereto that if any part, term, or provision of this Contract is held illegal or in conflict with any law of the State, the validity of the remaining portions or provisions shall not be affected, and the rights and obligations of the parties shall be construed and enforced as if the Contract did not contain the particular part, term, or provisions held to be invalid.

The County and the Contractor agree to resolve through negotiation or mediation prior to filing any cause of action. The venue for any litigation arising from this contract shall be White County, Georgia.

3.22 Drug Free Workplace

By submission of a Bid, the Contractor certifies that the provisions of Code Sections 5024-1 through 50-24-6 of the Official Code of Georgia Annotated, relating to the "Drug-free Workplace Act", have been complied with in full. The Contractor further certifies that:

1. A drug-free workplace will be provided for the Contractor's employees during performance of the contract; and
2. Each Contractor who hires a sub-Contractor to work in a drug-free work place shall secure from that sub-Contractor the following written certification:
3. As part of the subcontracting agreement with (Contractor's name), (Sub Contractor's name) certifies to the Contractor that a drug-free workplace will be provided for the sub Contractor's employees during the performance of this Contract pursuant to Paragraph (7) of Sub-section (b) of Code Section 50-24-3".
4. The Contractor further certifies that he will not engage in the unlawful manufacture, sale, distribution, dispensation, possession, or use of a controlled substance or marijuana during the performance of the Contract.

3.23 Assignment of Contractual Rights

It is agreed that the Contractor will not assign, transfer, convey, or otherwise dispose of a contract that may result from this bid or his right, title, or interest in or to the same, or any part thereof, without written consent of the County.

3.24 Indemnity

To the fullest extent permitted by law, the Contractor will indemnify, defend, and hold White County harmless from and against any and all claims, damages, losses, and expenses, including, but not limited to, fees and charges of attorneys and court and arbitration costs, arising out of or resulting from the negligent acts, negligent omissions, willful misconduct, or reckless misconduct of the Contractor or anyone for whom the Contractor is responsible.

3.25 Non-Collusive Bidding

By submitting a response to this Invitation to Bid, the Bidder represents and warrants that such bid is genuine and not a sham or collusive or made in the interest or on behalf of any person not therein named and that the Bidder has not directly or indirectly induced or solicited any other vendor to put in a sham bid, or any other person or company to refrain from submitting and that the Bidder has not in any manner sought by collusion to secure to that vendor any advantage over any other vendor.

3.26 Georgia Security and Immigration Compliance

To comply with the State of Georgia's Security and Immigration Compliance Act, all contractors must comply with regulations by completing the provided affidavits relative to the Compliance Act. All applicable affidavits have been included with this Invitation to Bid and must be signed and provided with the Bid submission.

3.27 Appropriation of Funds

The initial contract and any continuation contract(s) shall terminate immediately and absolutely at any such time as there are no appropriated and otherwise unencumbered funds available to satisfy the County's obligations under said contract(s).

3.28 Documents Deemed Part of Contract

Unless otherwise modified by the Contract, White County's Invitation to Bid and any addendums issued thereto, and the Project Manual containing Specifications and Special Provisions shall be deemed part of the contract. No documentation or information provided by the Contractor shall be deemed part of the contract unless expressly incorporated.



**WHITE COUNTY
GEORGIA**

APPENDIX A – BIDDER’S CERTIFICATION

*White County Fire Service’s
Fire Station 4 and Fire Station 6 Renovations*

Project# 2023-WCFS-001-A

I, the undersigned, certify that this Bid is submitted without prior understanding, agreement or connection with any corporation, firm or person submitting a Bid for the same goods/services and is in all respects fair and without collusion or fraud. I understand that collusive bidding is a violation of state and Federal law and can result in fines, prison sentences and civil damages awards. I agree to abide by all conditions of this bid and certify that I am authorized to sign this bid for the bidder.

BIDDER INFORMATION
(Type or Print)

NAME AND MAILING ADDRESS
(Where to send payment)

Name of Company

Name of Company

Address

Address

City, State, Zip

City, State, Zip

Phone Number

Phone Number

Email Address

Email Address

Tax ID Number or Social Security Number

Name and Title of Person Authorized to Sign

Name

Title

Signature



**WHITE COUNTY
GEORGIA**

APPENDIX B – E-VERIFY AFFIDAVIT

*White County Fire Service’s
Fire Station 4 and Fire Station 6 Renovations*

Project# 2023-WCFS-001-A

**Proposed Bids not signed shall be declared as “Non-Responsive”
and may not be considered for the award.
Georgia Security & Immigration Compliance (GSIC) Act
(CONTRACTOR) E-VERIFY AFFIDAVIT AND AGREEMENT**

White County Commissioner and Contractor agree that compliance with the requirements of O.C.G.A. § 13-10-91 and Rule 300-10-1-.02 of the Rules of the Georgia Department of Labor are conditions of this Agreement for the physical performance of services.

By executing this affidavit, the undersigned contractor verifies its compliance with O.C.G.A. § 13-10-91, stating affirmatively that the individual, firm, or corporation which is contracting with the White County Commissioner has registered with and is participating in the federal work authorization program known as “E-Verify”, web address <https://e-verify.uscis.gov/enroll/> operated by the United States Citizenship and Immigration Services Bureau of the United States Department of Homeland Security to verify information of newly hired employees, pursuant to the Immigration Reform and Control Act of 1986 [(IRCA), P.L. 99-603], in accordance with the applicability provisions and deadlines established in O.C.G.A. § 13-10-91. The undersigned Contractor also verifies that he/she/it is using and will continue to use the federal work authorization program throughout the contract period.

The undersigned Contractor agrees that, should it employ or contract with any subcontractor(s) in connection with the physical performance of services pursuant to the contract with the White County Commissioner, Contractor will secure from such subcontractor(s) similar verification of compliance with O.C.G.A. § 13-10-91 on the Subcontractor Affidavit provided in Rule 300-10-01-.08 or a substantially similar form. Contractor further agrees the Contractor will advise the White County Commissioner of the hiring of a new subcontractor and will provide White County Commissioner with a Subcontractor Affidavit attesting to the Subcontractor’s name, address, user identification number, and date of authorization to use the Federal Work Authorization Program within five (5) days of the hiring before the Subcontractor begins working on the Project. Contractor also agrees to maintain all records of such compliance for inspection by White County Commissioner at any time and to provide a copy of each such verification to the White County Commissioner at the time the subcontractor(s) is retained to perform such services.

E- Verify Employment Eligibility Variation User Identification Number

Date of Authorization to Use Federal Work Authorization Program

Name of Contractor

Title of Authorized Officer or Agent of Contractor

Signature and Printed Name of Authorized Officer or Agent

SUBSCRIBED AND SWORN BEFORE ME ON THIS THE _____ DAY OF _____, 20_____.

Notary Public

My Commission Expires

* As of the effective date of O.C.G.A. § 13-10-91, the applicable federal work authorization program is the “EEV / Basic Pilot Program” operated by the U.S. Citizenship and Immigration Services Bureau of the U.S. Department of Homeland Security, in conjunction with the Social Security Administration (SSA). Authority O.C.G.A. § 13-10-91. History: Original Rule entitled “Contractor Affidavit and Agreement” adopted F. May 25, 2007; eff. June 18, 2007, as specified by the Agency.



**WHITE COUNTY
GEORGIA**

APPENDIX C – PRICING SHEET

*White County Fire Service's
Fire Station 4 and Fire Station 6 Renovations*

Project# 2023-WCFS-001-A

I, the undersigned, hereby certify that the attached pricing sheet, for the above stated project is accurate and complete to the best of my knowledge. I am the authorized representative of the below stated business and affirm that all information in the estimate is true and correct.

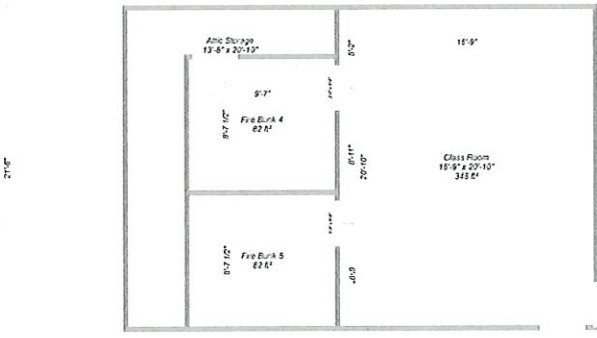
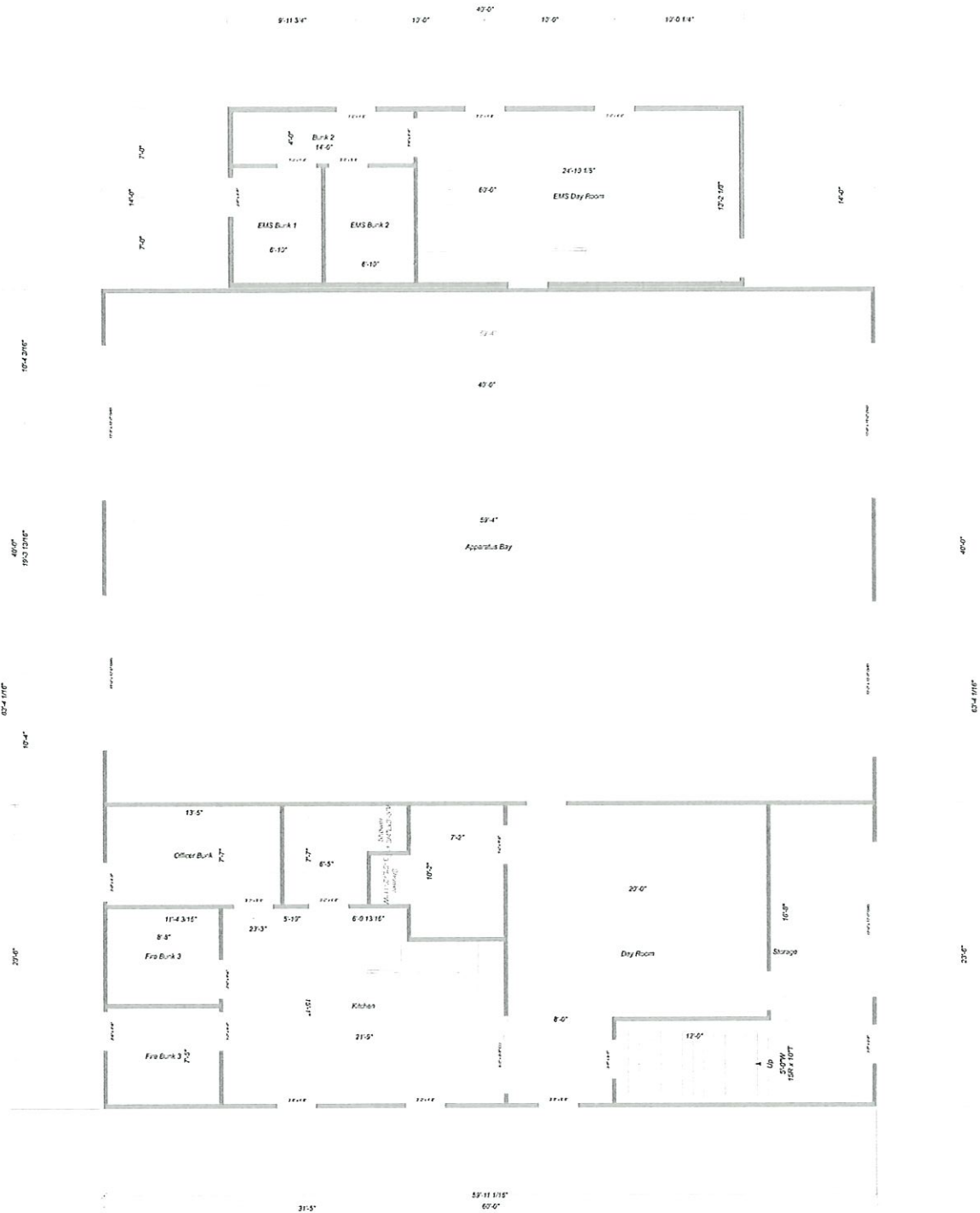
By signing this, I acknowledge that the below stated business is committed to honoring the terms and conditions outlined in the attached pricing sheet. Furthermore, I certify that this price sheet is provided willingly and in good faith. I am aware of the legal implications of making false statements or misinterpretations in this document.

Name of Company

Authorized Representative (*print name*)

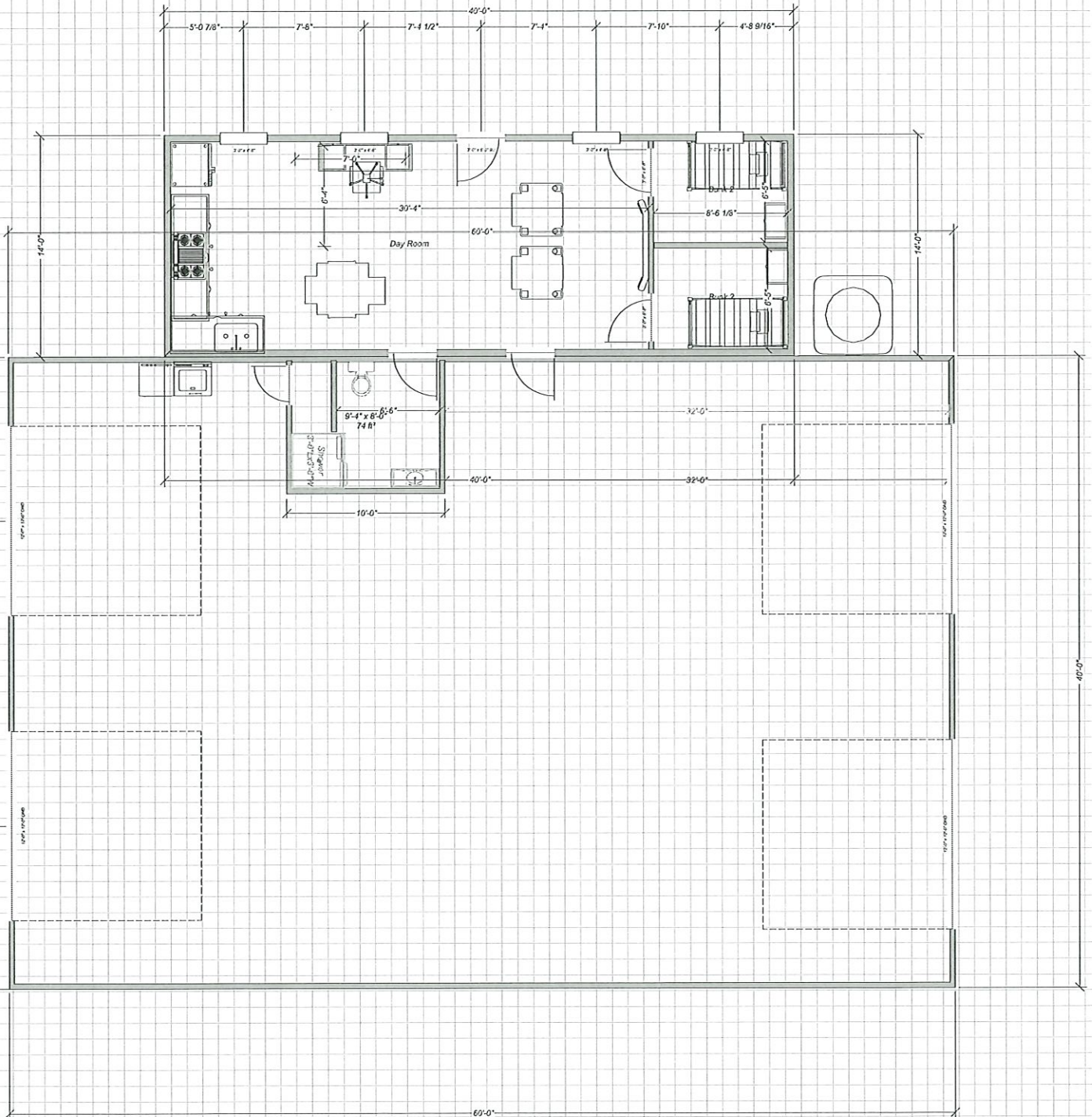
Signature

Date



Attachment A:
White County Fire Service's
Station 4

Attachment B:
White County Fire Service's
Station 6





November 27, 2023

Bid For RFP Project# 2023-WCFS-00-1-A

To the Chief, Staff and Citizens served by White County Fire,

My name is Brian Cohen. I am the owner of Dream Garage Builders. It my pleasure to present to you a bid for the renovation of Fire Stations Number 4 and 6. Dream Garage Builders is a values driven company dedicated to Creating spaces where people can find solace, build community, and experience joy. We are firmly committed to doing the highest quality of work possible while offering high level responsiveness, care, and focus on the customer's needs. Every space we build is tailored to the specific needs and desires of the customer, regardless of project size or cost. As a former full-time firefighter, I have spent 10's of thousands of hours in fire stations and know how much the environment you live in when at work at the fire service directly impacts you personally and in turn, impacts how you are able to service the citizens of your municipality. It is my commitment and my passion to provide a space where the men and women of the White County Fire Services feel comfortable and welcome so they can focus on the protection of those they are sworn to Protect. As a property owner in White County, we are further vested in the interests of the county and are grateful for the investment by the county into the infrastructure of White County Fire Services.

Dream Garage Builders specializes in custom garage building, renovation, and repair. We are familiar with construction and modification of steel exterior structure with interior finishing consistent with the construction of Fire Stations 4 and 6. We are commercially insured and licensed as a permit agent under J Tim Elrod Construction (License number RLCI000610) for Residential and Light Commercial Construction up to 4 stories high and 25,000sf wood framed or 50,000 steel framed buildings. All work is overseen and directed by myself and Tim Elrod whom have a combined experience over 40 years of experience in construction. We use only

6150 Old Still Run Rd
Gainesville, GA 30506
(706) 329-1830
Brian@onlygarages.com



vettted, insured, and licensed (when applicable) subcontractors to execute all aspects of construction to achieve the highest fit, finish, timing, and delivery of all projects. We hold General Liability as required by law. Our subcontractors are required to provide individual GL coverage as well as workers compensation as applicable under state law. We will verify and comply with all insurance requirements for White County including acquiring and/or modifying insurance coverage necessary.

Attached you will find completed documentation as required by the RFP. Also included are specific pricing quote sheets for each different space in the job. Each is divided into a work flow based itemization that allows for easy digestion of the different aspects of the job but also included significant detail as to the scope of work to be performed. Please also note where I have made notes based on calculations in the absence of available documentation that was requested as well as areas where notation for addition of work may be requested. As this process had to be rebid and the scope changed, I was also able to gather some competing bids and submit a more competitive bid. ***I am pleased to present Dream Garage Builders revised bid for all aspects of the project at \$179,920.18.***

Sincerely,

Brian Cohen
Owner, Dream Garage Builders

6150 Old Still Run Rd
Gainesville, GA 30506
(706) 329-1830
Brian@onlygarages.com

Dream Garage Builders

6150 Old Still Run Road | Gainesville, Georgia 30506
 706-329-1830 | brian@onlygarages.com | www.onlygarages.com

RECIPIENT:

White County Fire Services

6449 U.S. 129
 Cleveland, Georgia 30528

Quote #1

Sent on _____

Total \$50,723.03

Product/Service	Description	Qty.	Unit Price	Total
Station 6 Renovation	The following Line Items Pertain to renovation of Station 6 the specifications of the RFP and the Chief.			
Demo of Existing Kitchen	Cabinets shall be removed and disposed of. Plumbing, electrical connections shall remain. Cabinets to be emptied of all contents prior to start of renovation by Client	4.5	\$155.00	\$697.50
Demo 4 New Doorways and Trim	Demolition of existing walls shall be executed to create 3 new doorways and to remove existing doors to accommodate modifications of the floor plan. Existing Trim and Chair rail shall be removed per Command Staff Request	3.5	\$220.00	\$770.00
Bathroom Demo	Existing Sink and mirrors in bathroom shall be removed and disposed of. Toilet shall be removed in conjunction with flooring demo.	2	\$125.00	\$250.00
Flooring Demo	Professional machinery and technicians shall be employed to remove existing flooring thought the finished are inside the station to prepare for new floor plan and new flooring. Shall include scraping and chemical removal. 650sf *** While it is unlikely, in the event diamond grinding is necessary, a change order shall be executed for the unforeseen labor necessary to grind down to raw concrete)	2.88	\$650.00	\$1,872.00
Propane Demolition	Licensed plumber shall disconnect and cap existing propane line inside the existing wall. Pipe shall remain intact for future use as needed by customer. Propane appliances shall be disposed of or left on site per preference of customer	4.25	\$210.00	\$892.50
Framing	Framers shall erect necessary walls to create 2 new bunk rooms per the specification. Framers shall frame for new door passing from day room to bathroom. Framers shall also frame small step outside of shower that moderates step distance down from shower to grade level. 19 Linear Feet	19	\$75.00	\$1,425.00

Dream Garage Builders

6150 Old Still Run Road | Gainesville, Georgia 30506
 706-329-1830 | brian@onlygarages.com | www.onlygarages.com

Product/Service	Description	Qty.	Unit Price	Total
Electrical - Outlets and switches	<p>Licensed professional Electrician shall add outlets to walls of bunk rooms and shall add/move light and light switch for each bunk room. Electrician shall utilized existing switch locations when possible. Layout shall include wiring a high and low outlet for entertainment center on the designated wall.</p> <p>****Any modifications of cable, internet, ethernet, or any other system outside of the electrical system shall be either the responsibility of the customer, public works, or shall be added by change order.</p> <p>**** Price assumes that wall construction of interior walls are wood framed. If metal studs are present, a \$2000 contingency will be executed per code which dictates that romex is unacceptable and NM cable is required.</p>	12	\$160.00	\$1,920.00
Bathroom Light Addition	<p>Licensed Profession Electrician shall add 6" wafer light above existing shower and shall tie into existing wiring to electrify this light on the existing switch simultaneously with the other lights.</p>	2	\$215.00	\$430.00
Wire for Appliances	<p>Licensed Professional Electrician shall run 220v for addition of Electric Range. Wiring shall be via conduit on exterior of building entering brick wall on wall where stove shall be located. A dedicated microwave circuit shall also be run in the same fashion.</p> <p>*****This price is under the assumption that the panel load and wiring allows for use of the double breaker slot currently occupied by the mini split HVAC. In the event that HVAC contractor does not leave a 2 slot opening in the panel or changes the load/wiring of the circuit panel from current configuration, a Contingency of \$5000 shall be executed via change order to re-wire the circuit breaker box to accommodate the stove and microwave circuits.</p>	30	\$75.00	\$2,250.00
Kitchen Plumbing Prep	<p>Licensed Plumber shall prepare existing water and drain for new sink and cabinetry which shall include adding a water line for the refrigerator. Drain and water shall be relocated as necessary to accommodate new location of sink</p> <p>****Per request, the sink location shall remain in the same place as existing. This quote does not include movement or modification of the plumbing.</p>	7	\$210.00	\$1,470.00

Dream Garage Builders

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 706-329-1830 | brian@onlygarages.com | www.onlygarages.com

Product/Service	Description	Qty.	Unit Price	Total
Insulation and Drywall	<p>All newly constructed walls shall be insulated with batts. Drywall will then be professionally hung and finished to all new and modified walls.</p> <p>****Existing Ceiling shall remain intact and unmodified</p>	22	\$125.00	\$2,750.00
Interior Trim Work	<p>All 3 new doors shall be trimmed and hung with hollow core 6 panel doors and trim consistent with existing. Contractor will make every effort to match existing trim if available. In the event trim is no longer available, closest available version will be installed. A hand rail shall also be added next to the shower for safety when stepping down from the shower.</p> <p>Metal door from Station 4 shall be transplanted to doorway from bathroom to bay. Every attempt shall be made to salvage the existing door. If a new door is required, a Contingency of \$1200 shall be executed for purchase of a new metal commercial door.</p> <p>Ceiling shall remain unmodified</p>	3	\$828.94	\$2,486.82
Kitchen Cabinetry	<p>New kitchen cabinets shall be professionally installed and set in L-shaped orientation as specified. Cabinet layout of ~24 linear feet of base and wall cabinets is attached and shall include cutouts for range, dishwasher, upper cabinet mounted microwave, and 32" refrigerator. Laminate style countertops similar to existing shall be installed with cabinetry.</p> <p>Attached rendering is estimated lengths and measurements by cabinet designer for fit and function of the room. Final shall be determined at contract and when customer has supplied exact specs for appliances. Customer may modified cabinet layout if modification is consistent with cabinet providers pricing, capability, and availability or by change order in the event there is a cost change.</p>	1	\$11,750.40	\$11,750.40
Interior Painting	<p>All walls and trim shall be puttied, prepped, and painted. This shall include priming newly installed walls, doors, and trim and repainting all existing doors, walls, trim, interior face windows.</p> <p>650 sf</p>	1	\$3,960.00	\$3,960.00
Flooring	<p>Professional Floor Provider shall install Shaw Contract Abide LVP – Color: Raw Umber Oak. Installation shall include necessary prep, glue, materials, and labor</p> <p>650 sf</p>	650	\$10.88	\$7,072.00

Dream Garage Builders

6150 Old Still Run Road | Gainesville, Georgia 30506
 706-329-1830 | brian@onlygarages.com | www.onlygarages.com

Product/Service	Description	Qty.	Unit Price	Total
Cover Base	Johnsonite 4" Rubber Cove Base – Color: Dark Brown to be installed on all lower walls including materials, application material ie glue, and labor.	200	\$3.50	\$700.00
Bathroom Installation	Installation of one 36" vanity with mirror. Includes Vanity, top, and sink.	1.5	\$770.50	\$1,155.75
Finish Plumbing	Licensed Professional Plumber shall connect vanity, Kitchen sink, Dishwasher, and Refrigerator for use. This shall include installation of faucets and drains.	5.75	\$210.00	\$1,207.50
Plumbing Fixtures	Steel double kitchen sink, Vanity Faucet, Kitchen Faucet	1	\$516.32	\$516.32
Finish Electrical	Licensed Professional Electrician shall Install 2 flat panel lights(one in each of the bunk rooms), 1 new vanity light, 1 wafer light over the shower, and install all switch plates for added and/or modified switches and outlets. Electrician shall also exchange vent fan for similar vent/light combo and shall transplant ceiling fan to replace existing ceiling light and shall install new 2x2 flat panel light in current fan location *****All other lights shall remain as is and unmodified. If customer wishes to modify or add any lighting, change order may be requested by the customer on a cost plus 20% basis.	7	\$96.43	\$675.01
Electrical Fixtures	1 bathroom vent fan/light combo, 1 vanity light, 1 wafer light, 3 2'x2' flat panel ceiling lights	1	\$1,009.23	\$1,009.23
Appliance Installation	Appliances shall be installed per specifications. Customer agrees that appliances and any necessary wires/plugs/cords/vents/etc shall be delivered either inside the room to be installed or to the door nearest the room to be installed. *****In the event that the vendor of the appliances offers installation with their deliver, Customer agrees to contact contractor and Contractor shall have the option of electing the vendor install their own appliances. In this case, the Contractor shall credit the customer for any installation cost not incurred by contractor. This credit shall be determined after all appliances have been deemed to be fully installed and up and running normally to full function.	6	\$99.00	\$594.00

Dream Garage Builders

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Product/Service	Description	Qty.	Unit Price	Total
Finishing, Cleaning, and Punch List	<p>Finishing shall include small items necessary for function such as installation of door knobs, etc</p> <p>Jobsite shall be left broom clean and shall dispose of all construction related trash. Contractor shall have 1 business day after all punch list items have been finished and accepted by the customer to removed Dumpster/dump trailer.</p> <p>Punch List shall be generated in conjunction with the customer. The Contractor will collate items that need to be adjusted or touched up and shall coordinate subcontractors/vendors to address all issues in all areas of work at one time.</p>	11	\$99.00	\$1,089.00
Dumpster/Dump Trailer	Onsite delivery and removal including one extra dump for 7 weeks.	7	\$540.00	\$3,780.00

Total **\$50,723.03**

This quote is valid for the next 30 days, after which values may be subject to change.

Dream Garage Builders

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RECIPIENT:

White County Fire Services

1650 Westmoreland Road
 Cleveland, Georgia 30528

Quote #2

Sent on _____

Total \$92,615.60

Product/Service	Description	Qty.	Unit Price	Total
Station 4 Renovation Fire Side - Downstairs	The following Line Items Pertain to renovation of Station 4 the specifications of the RFP and the Chief.			
Demo of Existing Kitchen	Cabinets shall be removed and disposed of. Plumbing, electrical connections shall remain. ****Cabinets to be emptied of all contents prior to start of renovation by Client	6.5	\$155.00	\$1,007.50
Demo 5 New Doorways; kitchen wall; Bay walls	Demolition of existing walls shall be executed to create 5 new doorways and to remove existing doors to accommodate modifications of the floor plan. Short wall and pantry next to cabinets will be removed to accommodate new cabinetry/fridge. Bay walls will be demoed appropriately for framing and finishing of new day room. 2 metal doors between bay and kitchen and bay and bathroom shall be removed for reuse.	7.5	\$220.00	\$1,650.00
Bathroom Demo	Existing Sink in both bathrooms shall be removed and disposed of. Toilet shall be removed in conjunction with flooring demo.	5	\$125.00	\$625.00
Flooring Demo	Professional machinery and technicians shall be employed to remove existing flooring thought the finished are inside the station to prepare for new floor plan and new flooring. Shall include scraping and chemical removal. 640 sf *** While it is unlikely, in the event diamond grinding is necessary, a change order shall be executed for the unforeseen labor necessary to grind down to raw concrete) *****If the concrete where the new day room will be framed has drains or significant issues requiring extreme levels of demo or prep, change order shall be executed in order to provide for quality and long lasting finished product.	740	\$2.88	\$2,131.20
Framing- Bunks	Framers shall erect necessary walls to create 3 new bunk rooms per the specification. 28 Linear Feet	26.2	\$75.00	\$1,965.00

Dream Garage Builders

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Product/Service	Description	Qty.	Unit Price	Total
Framing- Day Room	<p>Framers shall erect and enclose a ~450 sf new day room in the existing bay area as drawn on the specs. Newly enclosed day room shall be incorporated with enclosure of existing large walkthrough between bays. 10 feet from existing back wall shall be decked to provide for access to garage door opener. Ceiling joists and decking shall be up to code for uninhabited, non-storage code (dead load 10)</p> <p>Exterior of new wall facing bay door shall be sheathed in OSB per the Chief's request.</p>	450	\$19.01244	\$8,555.60
Electrical - Bunk rooms Outlets and switches	<p>Licensed professional Electrician shall add outlets to walls of bunk rooms and shall add light and light switch for each bunk room. Electrician shall utilized existing switch locations when possible. Layout shall include wiring a high and low outlet for entertainment center on the designated wall.</p> <p>****Any modifications of cable, internet, ethernet, or any other system outside of the electrical system shall be either the responsibility of the customer, public works, or shall be added by change order.</p> <p>**** Price assumes that wall construction of interior walls are wood framed. If metal studs are present, a \$2000 contingency will be executed per code which dictates that romex is unacceptable and wiring would be required to be NM cable.</p>	13	\$215.00	\$2,795.00
Electrical -Day room	<p>Licensed Profession Electrician shall wire day room to code including new outlets, switches for lights at door entrances, 6 wafer lights in the ceiling and shall relocated the exit signs, garage door opener, and smoke detector from bay ceiling to inside day room ceiling.</p>	540	\$8.00	\$4,320.00
Wire for Appliances	<p>Licensed Professional Electrician shall run 220v for addition of Electric Range to be located on common wall between kitchen and new day room (as defined in rendering). A dedicated microwave circuit shall also be run for above range microwave. Both runs shall be encased in conduit when in unfinished areas, and enclosed behind drywall in finished areas whenever possible. Both shall originated at sub panel in bunk room.</p> <p>*****If wiring or loads have been altered between bid visit and start of job, estimate shall be obtain and change order executed for required changes.</p>	30	\$75.00	\$2,250.00

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Product/Service	Description	Qty.	Unit Price	Total
HVAC Addition	<p>HVAC Contractor shall add output registers to 1 bunk room, and 2 registers and one return to new Day room.</p> <p>*****No modification to system shall be included. If system is undersized or unable to handle new load, estimate for bringing system up to spec shall be obtained and change order executed.</p>	4	\$750.00	\$3,000.00
Kitchen Plumbing Prep	<p>Licensed Plumber shall prepare existing water and drain for new sink and cabinetry which shall include adding a water line for the refrigerator.</p> <p>****Per request, the sink location shall remain in the same place as existing. This quote does not include movement or modification of the plumbing.</p>	4	\$210.00	\$840.00
Insulation and Drywall	<p>All newly constructed walls be insulated with batts. Drywall will then be professionally hung and finished to all new and modified walls.</p> <p>****Existing Ceiling shall remain intact and unmodified</p>	75	\$125.00	\$9,375.00
Interior Trim Work	<p>All 4 new doors shall be trimmed and hung with hollow core 6 panel doors and trim consistent with existing. One doorway will be cased. Contractor will make every effort to match existing trim if available. In the event trim is no longer available, closest available version will be installed.</p> <p>****Existing Ceiling shall remain intact and unmodified</p>	4.5	\$828.94	\$3,730.23
Exterior doors	<p>One steel door with steel casement/trim shall be installed between new day room and existing bay area. A residential style, 6 panel exterior door shall be installed in the new dayroom facing the existing bay door and in the doorway from new day room to bathroom.</p> <p>*****Contractor will attempt to repurpose existing steel commercial door to day room to bay pass through door. In the event that the door is not salvageable, a \$1200 contingency shall be executed to purchase a new door</p>	3	\$1,254.25	\$3,762.75

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Product/Service	Description	Qty.	Unit Price	Total
Kitchen Cabinetry	<p>New kitchen cabinets shall be professionally installed and set in L-shaped orientation as specified. Cabinet layout is attached and shall include cutouts for range, dishwasher, upper cabinet mounted microwave, and 32" refrigerator. Laminate style countertops similar to existing shall be installed with cabinetry.</p> <p>See attached rendering. Rendering is estimated lengths and measurements by cabinet designer for fit and function of the room. Final shall be determined at contract and when customer has supplied exact specs for appliances. Customer may modify cabinet layout if modification is consistent with cabinet providers pricing, capability, and availability or by change order in the event there is a cost change.</p>	1	\$9,622.00	\$9,622.00
Interior Painting	All walls and trim shall be puttied, prepped, and painted. This shall include priming newly installed walls, doors, and trim and repainting all existing doors, walls, trim, interior face windows. Paint in the bay area shall be limited to priming the newly framed and finished wall that encloses existing bathroom door.	1.85	\$3,660.00	\$6,771.00
Flooring	Professional Floor Provider shall install Shaw Contract Abide LVP - Color: Raw Umber Oak. Installation shall include necessary prep, level, glue, materials, and labor. 1326 sf	1326	\$10.88	\$14,426.88
Cove Base	Johnsonite 4" Rubber Cove Base - Color: Dark Brown to be installed on all lower walls including materials, application material ie glue, and labor.	442.1	\$3.50	\$1,547.35
Bathroom Installation	Installation of 2- 36" vanities with mirrors Includes Vanity, top, and sink.	3	\$770.50	\$2,311.50
Finish Plumbing	Licensed Professional Plumber shall connect vanity, Kitchen sink, Dishwasher, and Refrigerator for use. This shall include installation of faucets and drains.	7.75	\$210.00	\$1,627.50
Plumbing Fixtures	Steel double kitchen sink, 2- Vanity Faucet, Kitchen Faucet	1	\$636.32	\$636.32
Finish Electrical	Licensed Professional Electrician shall install 7 flat panel 2x2 lights (one in each bunk room and 4 in kitchen), 2 new vanity lights, 6 wafer lights in day room, and install all switch plates for added and/or modified switches and outlets.	19	\$96.43	\$1,832.17
	*****All other lights shall remain as is and unmodified. If customer wishes to modify or add any lighting, change order may be requested by the customer on a cost plus 20% basis.			

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Product/Service	Description	Qty.	Unit Price	Total
Electrical Fixtures	7 flat panel 2x2, 2 vanity light, 6 wafer lights	2	\$640.80	\$1,281.60
Appliance Installation	<p>Appliances shall be installed per specifications. Customer agrees that appliances and any necessary wires/plugs/cords/vents/etc shall be delivered either inside the room to be installed or to the door nearest the room to be installed.</p> <p>*****In the event that the vendor of the appliances offers installation with their deliver, Customer agrees to contact contractor and Contractor shall have the option of electing the vendor install their own appliances. In this case, the Contractor shall credit the customer for any installation cost not incurred by contractor. This credit shall be determined after all appliances have been deemed to be fully installed and up and running normally to full function.</p>	6	\$99.00	\$594.00
Finishing, Cleaning, and Punch List	<p>Finishing shall include small items necessary for function such as installation of door knobs, etc</p> <p>Jobsite shall be left broom clean and shall dispose of all construction related trash. Contractor shall have 1 business day after all punch list items have been finished and accepted by the customer to removed Dumpster/dump trailer.</p> <p>Punch List shall be generated in conjunction with the customer. The Contractor will collate items that need to be adjusted or touched up and shall coordinate subcontractors/vendors to address all issues in all areas of work at one time.</p>	22	\$99.00	\$2,178.00
Dumpster/Dump Trailer	Onsite delivery and removal including one extra dump for 7 weeks.	7	\$540.00	\$3,780.00

Total **\$92,615.60**

This quote is valid for the next 30 days, after which values may be subject to change.

Dream Garage Builders

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RECIPIENT:

White County Fire Services

1650 Westmoreland Road
 Cleveland, Georgia 30528

Quote #3

Sent on _____

Total \$21,273.83

Product/Service	Description	Qty.	Unit Price	Total
Station 4 Renovation - Fire Side Upstairs	The following Line Items Pertain to renovation of Station 4 per the specifications of the RFP and the Chief.			
Demo 1 New Doorways	Demolition of existing walls shall be executed to create 1 new doorways and to accommodate modifications of the floor plan.	2	\$220.00	\$440.00
Flooring Demo	Professional machinery and technicians shall be employed to remove existing carpet thought the finished are inside the station to prepare for new floor plan and new flooring. Shall include scraping and chemical removal as needed. 650sf	677	\$1.44	\$974.88
Framing	Framers shall erect necessary walls to create 2 new bunk rooms per the specification. 12 Linear Feet	12	\$75.00	\$900.00
HVAC Addition	HVAC Contractor shall add 1 output register to each of the new bunkrooms *****No modification to system shall be included. If system is undersized or unable to handle new load, estimate for bringing system up to spec shall be obtained and change order executed	2	\$750.00	\$1,500.00
Electrical - Outlets and switches	Licensed professional Electrician shall add outlets to walls of bunk rooms and shall add light and light switch for each bunk room. Electrician shall utilize existing switch locations when possible. **** Price assumes that wall construction of interior walls are wood framed. If metal studs are present, a \$1000 contingency will be executed per code which dictates that romex is unacceptable and NM cable is required. ****Any modifications of cable, internet, ethernet, or any other system outside of the electrical system shall be either the responsibility of the customer, public works, or shall be added by change order.	13	\$160.00	\$2,080.00
Insulation and Drywall	All newly constructed walls will be insulated with batt insulation. Drywall will then be professionally hung and finished to all new and modified walls.	18	\$125.00	\$2,250.00

Dream Garage Builders

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 706-329-1830 | brian@onlygarages.com | www.onlygarages.com

Product/Service	Description	Qty.	Unit Price	Total
Interior Trim Work	All 1 new door shall be trimmed and hung with hollow core 6 panel doors and trim consistent with existing. Contractor will make every effort to match existing trim if available. In the event trim is no longer available, closest available version will be installed.	1	\$828.94	\$828.94
Interior Painting	All walls and trim shall be puttied, prepped, and painted. This shall include priming newly installed walls, doors, and trim and repainting all existing doors, walls, trim, interior face windows. 650 sf	0.75	\$3,660.00	\$2,745.00
Flooring	Professional Floor Provider shall install Shaw Contract Abide LVP – Color: Raw Umber Oak. Installation shall include necessary prep, glue, materials, and labor 650 sf	650	\$10.88	\$7,072.00
Cove Base Installation	Johnsonite 4" Rubber Cove Base – Color: Dark Brown to be installed on all lower walls including materials, application material ie glue, and labor.	216.67	\$3.49998	\$758.34
Finish Electrical	Licensed Professional Electrician exchange 6-2x4' drop ceiling lights for 8- 2x2' LED drop ceiling lights (one in each bunk room and 6 in classroom and install all switch plates for added and/or modified switches and outlets. *****All other lights shall remain as is and unmodified. If customer wishes to modify or add any lighting, change order may be requested by the customer on a cost plus 20% basis.	9	\$96.43	\$867.87
Electrical Fixtures	8- 2'x2' Drop ceiling fitment LED Troffer Lights	1	\$460.80	\$460.80
Finishing, Cleaning, and Punch List	Finishing shall include small items necessary for function such as installation of door knobs, fill in drop ceiling tiles, etc. Jobsite shall be left broom clean and shall dispose of all construction related trash. Contractor shall have 1 business day after all punch list items have been finished and accepted by the customer to removed Dumpster/dump trailer. Punch List shall be generated in conjunction with the customer. The Contractor will collate items that need to be adjusted or touched up and shall coordinate subcontractors/vendors to address all issues in all areas of work at one time.	4	\$99.00	\$396.00

Dream Garage Builders

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Product/Service	Description	Qty.	Unit Price	Total
Dumpster/Dump Trailer	Onsite delivery and removal including one extra dump for 7 weeks. *****Shared cost between different sections of renovations on station 4. Contractor reserves the right to extend the fee on a weekly basis if the customer elects to execute the work over a longer period than the 45 days specified in the RFP.	0	\$540.00	\$0.00

Total **\$21,273.83**

This quote is valid for the next 30 days, after which values may be subject to change.

Dream Garage Builders

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 706-329-1830 | brian@onlygarages.com | www.onlygarages.com

RECIPIENT:

White County Fire Services

1650 Westmoreland Road
 Cleveland, Georgia 30528

Quote #4

Sent on _____

Total **\$15,307.72**

Product/Service	Description	Qty.	Unit Price	Total
Station 4 Renovation- EMS Side	The following Line Items Pertain to renovation of Station 4 per the specifications of the RFP and the Chief.			
Demo 3 New Doorways and ceiling	Demolition of damage ceiling, crown molding, and any other needed items to clear for framing of new bunkrooms. May include sections of ceiling for HVAC movement .	2	\$220.00	\$440.00
Framing	Framers shall erect necessary walls to create 2 new bunk rooms per the specification. 17 Linear Feet	13.6	\$75.00	\$1,020.00
Electrical - Outlets and switches	Licensed professional Electrician shall add outlets to walls of bunk rooms and shall add light and light switch for each bunk room, as well as for the hallway. Electrician shall utilized existing switch locations when possible. **** Price assumes that wall construction of interior walls are wood framed. If metal studs are present, a \$800 contingency will be executed per code which dictates that romex is unacceptable and NM cable is required.	5	\$215.00	\$1,075.00
HVAC Drop to New Bunks	HVAC contractor shall run output register to each of the newly created bunk rooms.	2	\$750.00	\$1,500.00
Insulation and Drywall	Insulation shall be installed and drywall will then be professionally hung and finished to all new and modified walls in new bunk rooms and new hall. Ceiling shall be repair to match existing as close as possible.	28	\$125.00	\$3,500.00
Interior Trim Work	2 new doors shall be trimmed and hung with hollow core 6 panel doors and trim consistent with existing. New baseboard will be hung on all walls in bunk rooms and new hallway Contractor will make every effort to match existing trim if available. In the event trim is no longer available, closest available version will be installed.	4.75	\$828.94105	\$3,937.47

Dream Garage Builders

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Product/Service	Description	Qty.	Unit Price	Total
Interior Painting	All walls and trim shall be puttied, prepped, and painted. This shall include priming newly installed walls, doors, and trim and repainting all existing doors, ceiling, walls, trim, interior face windows. Paint in the bay area shall be limited to priming the newly framed and finished wall that encloses existing bathroom door. 650 sf	0.7	\$3,660.00	\$2,562.00
Finish Electrical	Licensed Professional Electrician shall install 2 flat panel 2x2' lights (one in each of the bunk rooms), 2 wafer light in the hallway, and install all switch plates for added and/or modified switches and outlets. *****All other lights shall remain as is and unmodified. If customer wishes to modify or add any lighting, change order may be requested by the customer on a cost plus 20% basis.	3	\$215.00	\$645.00
Electrical Fixtures	2- 2x2' flat panel lights, 2 wafer lights	1	\$331.25	\$331.25
Finishing, Cleaning, and Punch List	Finishing shall include small items necessary for function such as installation of door knobs, etc Jobsite shall be left broom clean and shall dispose of all construction related trash. Contractor shall have 1 business day after all punch list items have been finished and accepted by the customer to removed Dumpster/dump trailer. Punch List shall be generated in conjunction with the customer. The Contractor will collate items that need to be adjusted or touched up and shall coordinate subcontractors/vendors to address all issues in all areas of work at one time.	3	\$99.00	\$297.00
Dumpster/Dump Trailer	Onsite delivery and removal including one extra dump for 7 weeks. *****Shared cost between different sections of renovations on station 4. Contractor reserves the right to extend the fee on a weekly basis if the customer elects to execute the work over a longer period than the 45 days specified in the RFP.	0	\$540.00	\$0.00

Dream Garage Builders

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This quote is valid for the next 30 days, after which values may be subject to change.

Total

\$15,307.72



**WHITE COUNTY
GEORGIA**

White County Board of Commissioners

Project # 2023-WCFS-00-1-A

Addendum [11/23/2023]

**RFP Closing Date: Tuesday, November 28, 2023
Time: 2:00 PM**

This addendum is issued to change or clarify the proposal documents associated with Invitation to Bid: Fire Station 4 and Fire Station 6 (Re-solicitation).

Note: A signed copy of this addendum must be submitted with your proposal response.

Notes from Pre-Bid Meeting

1. All new walls constructed need to be insulated.
2. Any wall relocations need to be insulated.
3. Before the pre-coverup inspection, we will perform a walkthrough to verify placement of fixtures.
4. Existing propane line feeding dayroom at Station 6 will need to be capped off.



**WHITE COUNTY
GEORGIA**

Acknowledgement of Addendum

Project # 2023-WCFS-001-A

I, the undersigned, hereby confirm that I have read and understood the attached addendum dated 11/23/2023. I acknowledge that this addendum is an integral part of the Invitation to Bid to which it pertains.

Name: Brian Cohen

Phone Number: 706-329-1830

Address: 6150 old still Run Rd
Gainesville, GA 30506

Email: Brian@onlygarages.com

Authorized Signature: [Signature] Date: 11/28/23

Printed Name: Brian Cohen Title: owner

My Company Account

My Company Profile

Company Information

Company Name Brian Cohen Properties, LLC	Doing Business As (DBA) Name Dream Garage Builders
Company ID 2314134	Enrollment Date Nov 03, 2023
Employer Identification Number (EIN) 830700685	Unique Entity Identifier (UEI) ---
DUNS Number ---	Total Number of Employees 1 to 4
NAICS Code 531	Sector Real Estate and Rental and Leasing
Subsector Real Estate	

[Edit Company Information](#)

Employer Category

Employer Category

None of these categories apply

[Edit Employer Category](#)

Company Addresses

Physical Address

6150 Old Still Run Rd
Gainesville, GA 30506

Mailing Address

6150 Old Still Run Rd
Gainesville, GA 30506

[Edit Company Addresses](#)

Hiring Sites

Number of Sites

1

[Edit Hiring Sites](#)

Company Access and MOU

My Company is Configured to:

Verify Its Own Employees

Memorandum of Understanding

[View Current MOU](#)





HEC Construction Solutions
Winder , GA, 30680

White Co_Fire Station #4
& #6 Renovations
Bid #2023-WCFS-001-A
White County Fire
Services Station 4
1650 Westmoreland
Road

11/28/2023

10/13/2023

Bid Item Breakout

Bid Item Totals

Description	Total Estimate	Job
Fire Station #4	\$125,134.31	68.69%
Fire Station #6	\$57,041.79	31.31%
Total Estimate	\$182,176.10	100.00%

Change Order Process

HEC Construction Solutions. will notify the owner's representative if any changes arrive that will alter the above Scope of Work and contract amount. All changes will be submitted and processed on a Change Order Form with a description of work and cost of the change to be approved by owner's representative and HEC Construction. representative in writing.

Warranty Information

HEC Construction Solutions pledges to its customers that all material, workmanship, and/or building improvements provided for in the course of their renovation and/or building projects will be free of defects, will be of a specified quality, and will perform properly for a period of one year from the day of commencement of use, substantial completion of the project, or a date of notice of completion of the project, whichever is the first to occur. HEC Construction Solutions will assign and deliver to owner all guarantees, warranties, and quality instructions of all subcontractors, equipment manufacturers, and material suppliers that are applicable to the project. HEC Construction Solutions, within 3 days of the first knowledge of any defect or failure to operate properly, is to be notified in writing by the owner or their agents. HEC Construction Solutions. shall be given first opportunity to promptly repair, replace, and/or correct item found to be defective, or that fails to function properly, at no cost to the owner within a reasonable period. This warranty does not apply to any construction work that has been subjected to an accident, misuse, and abuse, nor to any construction work that has been modified, altered, defaced, and/or had repairs made/attempted by others. Please see Limitations below.

Limitations

HEC Construction Solutions. under no circumstances is to be liable by virtue of this warranty or otherwise for damage to any person or property whatsoever for any special, indirect, secondary, or consequential damage of any nature however arising out of the use or inability to use because of the construction defect. HEC Construction Solutions. is not liable for repair conditions caused by chemical or sedimentary build up, misuse or abuse, failure to clean or maintain as specified by the equipment manufacturer, missing parts, structural changes, fire, freezing, electrical failure or surge, water damage, lightning, mud, earthquake, soil movement, soil sediment, storms, accidents, pest damage, or acts of nature. HEC Construction Solutions is not liable for repairs related to; The adequacy or capacity of appliances, components, materials, and systems inside or outside of the building; Improper installation not performed by HEC Construction Solutions; Design failure or previous repair of appliances, components, and systems; Problems or failures caused by a manufacturer's defect; Or problems caused by alterations or modifications of appliances, components, or systems. HEC Construction Solutions will not perform normal or routine maintenance, and we will not pay for failures that result from the Contract/Warranty holder's failure to perform normal or routine maintenance. HEC Construction Solutions will not repair or replace any manufacturer covered systems or appliances if they are inoperable because of any condition not covered by our warranty. HEC Construction Solutions is not responsible for upgrade or additional costs or expenses that may be required to meet current building or zoning code requirements or correct existing code violations.

Scheduling the Work

HEC Construction Solutions will start the work within 10-14 business days of acceptance of this proposal by contract execution and/or issue of P.O. number and construction schedule generated.

Clarifications

HEC Construction Solutions has not been made aware by reports nor have we tested for known hazardous materials that require environmental specialized abatement, and therefore are not included in this proposed document. Should anything become suspect and apparent at job start-up we will work closely with the owner's representative to solve requirements and present necessary time and monetary change orders if any to handle this change in scope. This proposal and price is valid for 30 days from the date contained herein. We appreciate the business opportunity and look forward to serving your company!

Client Acceptance

Client Signature: _____

Date Signed: _____

Client Name: _____



APPENDIX A – BIDDER’S CERTIFICATION

*White County Fire Service’s
Fire Station 4 and Fire Station 6 Renovations*

Project# 2023-WCFS-001-A

I, the undersigned, certify that this Bid is submitted without prior understanding, agreement or connection with any corporation, firm or person submitting a Bid for the same goods/services and is in all respects fair and without collusion or fraud. I understand that collusive bidding is a violation of state and Federal law and can result in fines, prison sentences and civil damages awards. I agree to abide by all conditions of this bid and certify that I am authorized to sign this bid for the bidder.

BIDDER INFORMATION
(Type or Print)

NAME AND MAILING ADDRESS
(Where to send payment)

HEC Construction Solutions LLC

Name of Company

HEC Construction Solutions LLC

Name of Company

270 Ryan Rd

Address

270 Ryan Rd

Address

Winder, GA 30680

City, State, Zip

Winder, GA 30680

City, State, Zip

770-954-7071

Phone Number

770-954-7071

Phone Number

drye@hecconstructionsolutions.com

Email Address

lrye@hecconstructionsolutions.com

Email Address

87-27002675

Tax ID Number or Social Security Number

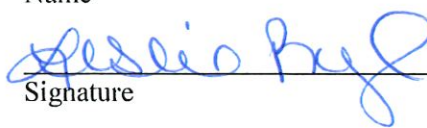
Name and Title of Person Authorized to Sign

Leslie Rye

Name

Administrative Officer

Title



Signature



APPENDIX B – E-VERIFY AFFIDAVIT

White County Fire Service's
Fire Station 4 and Fire Station 6 Renovations

Project# 2023-WCFS-001-A

**Proposed Bids not signed shall be declared as “Non-Responsive”
and may not be considered for the award.**
Georgia Security & Immigration Compliance (GSIC) Act
(CONTRACTOR) E-VERIFY AFFIDAVIT AND AGREEMENT

White County Commissioner and Contractor agree that compliance with the requirements of O.C.G.A. § 13-10-91 and Rule 300-10-1-.02 of the Rules of the Georgia Department of Labor are conditions of this Agreement for the physical performance of services.

By executing this affidavit, the undersigned contractor verifies its compliance with O.C.G.A. § 13-10-91, stating affirmatively that the individual, firm, or corporation which is contracting with the White County Commissioner has registered with and is participating in the federal work authorization program known as “E-Verify”, web address <https://e-verify.uscis.gov/enroll/> operated by the United States Citizenship and Immigration Services Bureau of the United States Department of Homeland Security to verify information of newly hired employees, pursuant to the Immigration Reform and Control Act of 1986 [(IRCA), P.L. 99-603], in accordance with the applicability provisions and deadlines established in O.C.G.A. § 13-10-91. The undersigned Contractor also verifies that he/she/it is using and will continue to use the federal work authorization program throughout the contract period.

The undersigned Contractor agrees that, should it employ or contract with any subcontractor(s) in connection with the physical performance of services pursuant to the contract with the White County Commissioner, Contractor will secure from such subcontractor(s) similar verification of compliance with O.C.G.A. § 13-10-91 on the Subcontractor Affidavit provided in Rule 300-10-01-.08 or a substantially similar form. Contractor further agrees the Contractor will advise the White County Commissioner of the hiring of a new subcontractor and will provide White County Commissioner with a Subcontractor Affidavit attesting to the Subcontractor’s name, address, user identification number, and date of authorization to use the Federal Work Authorization Program within five (5) days of the hiring before the Subcontractor begins working on the Project. Contractor also agrees to maintain all records of such compliance for inspection by White County Commissioner at any time and to provide a copy of each such verification to the White County Commissioner at the time the subcontractor(s) is retained to perform such services.

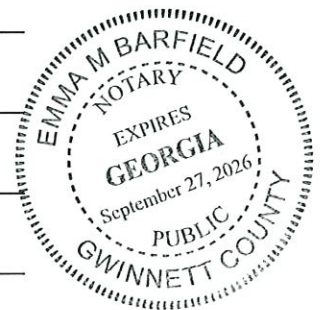
2021958
E-Verify Employment Eligibility Variation User Identification Number

11/14/2022
Date of Authorization to Use Federal Work Authorization Program

HEC Construction Solutions LLC
Name of Contractor

Administrative Officer
Title of Authorized Officer or Agent of Contractor

Leslie Rye
Signature and Printed Name of Authorized Officer or Agent



SUBSCRIBED AND SWORN BEFORE ME ON THIS THE 28 DAY OF November, 2023.

Emma M. Barfield
Notary Public

09/27/2026
My Commission Expires

* As of the effective date of O.C.G.A. § 13-10-91, the applicable federal work authorization program is the “EEV / Basic Pilot Program” operated by the U.S. Citizenship and Immigration Services Bureau of the U.S. Department of Homeland Security, in conjunction with the Social Security Administration (SSA). Authority O.C.G.A. § 13-10-91. History: Original Rule entitled “Contractor Affidavit and Agreement” adopted F. May 25, 2007; eff. June 18, 2007, as specified by the Agency.



APPENDIX C – PRICING SHEET

*White County Fire Service's
Fire Station 4 and Fire Station 6 Renovations*

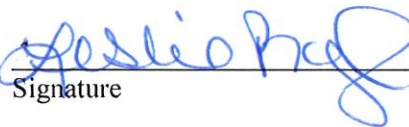
Project# 2023-WCFS-001-A

I, the undersigned, hereby certify that the attached pricing sheet, for the above stated project is accurate and complete to the best of my knowledge. I am the authorized representative of the below stated business and affirm that all information in the estimate is true and correct.

By signing this, I acknowledge that the below stated business is committed to honoring the terms and conditions outlined in the attached pricing sheet. Furthermore, I certify that this price sheet is provided willingly and in good faith. I am aware of the legal implications of making false statements or misinterpretations in this document.

HEC Construction Solutions LLC
Name of Company

Leslie Rye
Authorized Representative (*print name*)


Signature

11/28/2023
Date



**WHITE COUNTY
GEORGIA**

Acknowledgement of Addendum

Project # 2023-WCFS-001-A

I, the undersigned, hereby confirm that I have read and understood the attached addendum dated 11/23/2023. I acknowledge that this addendum is an integral part of the Invitation to Bid to which it pertains.

Name: HEC Construction Solutions LLC

Phone Number: 770-954-7071

Address: 270 Ryan Rd, Winder, GA 30680

Email: lrye@heconstructionsolutions.com

Authorized Signature:  Date: 11/28/2023

Printed Name: Leslie Rye Title: Administrative Officer

Request for Taxpayer Identification Number and Certification

**Give Form to the
requester. Do not
send to the IRS.**

▶ Go to www.irs.gov/FormW9 for instructions and the latest information.

Print or type.
See Specific Instructions on page 3.

1 Name (as shown on your income tax return). Name is required on this line; do not leave this line blank. HEC Construction Solutions LLC	
2 Business name/disregarded entity name, if different from above	
3 Check appropriate box for federal tax classification of the person whose name is entered on line 1. Check only one of the following seven boxes. <input type="checkbox"/> Individual/sole proprietor or single-member LLC <input type="checkbox"/> C Corporation <input type="checkbox"/> S Corporation <input type="checkbox"/> Partnership <input type="checkbox"/> Trust/estate <input checked="" type="checkbox"/> Limited liability company. Enter the tax classification (C=C corporation, S=S corporation, P=Partnership) ▶ <u>S</u> Note: Check the appropriate box in the line above for the tax classification of the single-member owner. Do not check LLC if the LLC is classified as a single-member LLC that is disregarded from the owner unless the owner of the LLC is another LLC that is not disregarded from the owner for U.S. federal tax purposes. Otherwise, a single-member LLC that is disregarded from the owner should check the appropriate box for the tax classification of its owner. <input type="checkbox"/> Other (see instructions) ▶	4 Exemptions (codes apply only to certain entities, not individuals; see instructions on page 3): Exempt payee code (if any) _____ Exemption from FATCA reporting code (if any) _____ <i>(Applies to accounts maintained outside the U.S.)</i>
5 Address (number, street, and apt. or suite no.) See instructions. 270 Ryan Rd	Requester's name and address (optional)
6 City, state, and ZIP code Winder, GA 30680	
7 List account number(s) here (optional)	

Part I Taxpayer Identification Number (TIN)

Enter your TIN in the appropriate box. The TIN provided must match the name given on line 1 to avoid backup withholding. For individuals, this is generally your social security number (SSN). However, for a resident alien, sole proprietor, or disregarded entity, see the instructions for Part I, later. For other entities, it is your employer identification number (EIN). If you do not have a number, see *How to get a TIN*, later.

Note: If the account is in more than one name, see the instructions for line 1. Also see *What Name and Number To Give the Requester* for guidelines on whose number to enter.

Social security number									
or									
Employer identification number									
8	7	-	2	7	0	2	6	7	5

Part II Certification

Under penalties of perjury, I certify that:

- The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me); and
- I am not subject to backup withholding because: (a) I am exempt from backup withholding, or (b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest or dividends, or (c) the IRS has notified me that I am no longer subject to backup withholding; and
- I am a U.S. citizen or other U.S. person (defined below); and
- The FATCA code(s) entered on this form (if any) indicating that I am exempt from FATCA reporting is correct.

Certification instructions. You must cross out item 2 above if you have been notified by the IRS that you are currently subject to backup withholding because you have failed to report all interest and dividends on your tax return. For real estate transactions, item 2 does not apply. For mortgage interest paid, acquisition or abandonment of secured property, cancellation of debt, contributions to an individual retirement arrangement (IRA), and generally, payments other than interest and dividends, you are not required to sign the certification, but you must provide your correct TIN. See the instructions for Part II, later.

Sign Here	Signature of U.S. person ▶	Date ▶ <u>11/28/2023</u>
------------------	----------------------------	--------------------------

General Instructions

Section references are to the Internal Revenue Code unless otherwise noted.

Future developments. For the latest information about developments related to Form W-9 and its instructions, such as legislation enacted after they were published, go to www.irs.gov/FormW9.

Purpose of Form

An individual or entity (Form W-9 requester) who is required to file an information return with the IRS must obtain your correct taxpayer identification number (TIN) which may be your social security number (SSN), individual taxpayer identification number (ITIN), adoption taxpayer identification number (ATIN), or employer identification number (EIN), to report on an information return the amount paid to you, or other amount reportable on an information return. Examples of information returns include, but are not limited to, the following.

- Form 1099-INT (interest earned or paid)

- Form 1099-DIV (dividends, including those from stocks or mutual funds)
 - Form 1099-MISC (various types of income, prizes, awards, or gross proceeds)
 - Form 1099-B (stock or mutual fund sales and certain other transactions by brokers)
 - Form 1099-S (proceeds from real estate transactions)
 - Form 1099-K (merchant card and third party network transactions)
 - Form 1098 (home mortgage interest), 1098-E (student loan interest), 1098-T (tuition)
 - Form 1099-C (canceled debt)
 - Form 1099-A (acquisition or abandonment of secured property)
- Use Form W-9 only if you are a U.S. person (including a resident alien), to provide your correct TIN.
- If you do not return Form W-9 to the requester with a TIN, you might be subject to backup withholding. See What is backup withholding, later.*

QUOTE

Kochis Construction LLC.

INVOICE # 2368
DATE: 11/26/2023

Kevin Kochis
370 Post Circle Road.
Cleveland, Ga 30528
Kevin.kochis27@gmail.com
Kevin (706) 969-5783

EXPIRATION DATE: 12/26/2023

TO White County Public Safety

1241 Helen Hwy. Suite 100
Cleveland, Ga 30523

SALESPERSON	JOB	PAYMENT TERMS	DUE DATE
Kevin Kochis	White County Station 6	In accordance with bid packet	In accordance with bit packet

QTY	DESCRIPTION	UNIT PRICE	TOTAL
1	Wood framing materials for walls and doors and shelves,		\$ 2,234.87
1	Sheetrock, screws, tape, and mud		\$ 784.49
6	6 panel pre-hung interior doors		\$ 1,133.44
1	775sq' (\$3.50 a square foot) flooring plus adhesive (glue) / Cove base and glue, plus 2 pieces of plywood for discrepancies in the existing floor.		\$ 4,756.34
1	30-inch bathroom vanity (sink and faucet included) and new toilet		\$ 530.00
1	Electrical (outlets and switch boxes, 12/2 wire, 6/3 wire and plug for stove)		\$ 1,415.74
1	Plumbing (kitchen sink, faucet, all supply lines, all shut-off valves, piping, fittings, clamps, and ice maker supplies, pee traps, etc....)		\$979.48
1	Nails, screws, and fasteners		\$408.28
1	Cabinets (Lower and upper) and countertop (Formica), and all other necessary components		\$ 4,820.18
1	12-inch Vent fan and exterior vent for ice maker room		\$ 463.23

QUOTE

Kochis Construction LLC.

INVOICE # 2369
DATE: 11/26/2023

Kevin Kochis
370 Post Circle Road.
Cleveland, Ga 30528
Kevin.kochis27@gmail.com
Kevin (706) 969-5783

EXPIRATION DATE: 12/26/2023

TO White County Public Safety

1241 Helen Hwy. Suite 100
Cleveland, Ga 30523

SALESPERSON	JOB	PAYMENT TERMS	DUE DATE
Kevin Kochis	White County Station 4	In accordance with bid packet	In accordance with bid packet

QTY	DESCRIPTION	UNIT PRICE	TOTAL
1	36" pre-hung 6-panel interior doors		\$ 1,468.22
1	Framing package for all new walls, closets, new day room, shelving and doors, step up-grades and repairs to existing areas in need of repair		\$6,351.60
1	Sheetrock, screws, corner beads, mud and tape for all areas.		\$2,143.32
1	1325sq' (\$3.50 a square foot) flooring plus adhesive (glue) / Cove base and glue, transition strips and leveler		\$4,937.50
1	Insulation for all new walls and dayroom		\$1,574.28
1	Electrical including all materials needed for all renovated and new areas		\$3,848.22
1	Base molding as specified in bid packet for all renovated areas and new areas		\$1,162.59
1	Nails, screws, and fasteners for all work needed to be performed.		\$992.89
1	Cabinets (Lower and upper) and countertop (Formica), kitchen sink, plumbing materials and supply lines		\$5,176.70



**WHITE COUNTY
GEORGIA**

APPENDIX A – BIDDER’S CERTIFICATION

*White County Fire Service’s
Fire Station 4 and Fire Station 6 Renovations*

Project# 2023-WCFS-001-A

I, the undersigned, certify that this Bid is submitted without prior understanding, agreement or connection with any corporation, firm or person submitting a Bid for the same goods/services and is in all respects fair and without collusion or fraud. I understand that collusive bidding is a violation of state and Federal law and can result in fines, prison sentences and civil damages awards. I agree to abide by all conditions of this bid and certify that I am authorized to sign this bid for the bidder.

BIDDER INFORMATION
(Type or Print)

NAME AND MAILING ADDRESS
(Where to send payment)

Kochis Construction LLC
Name of Company

" Same "
Name of Company

370 Post Circle Rd.
Address

" Same "
Address

Cleveland, Ga 30528
City, State, Zip

" Same "
City, State, Zip

(706) 969-5783
Phone Number

" Same "
Phone Number

Kevin.Kochis27@gmail.com
Email Address

" Same "
Email Address

92-2896139
Tax ID Number or Social Security Number

Name and Title of Person Authorized to Sign

Kevin Kochis
Name

Owner
Title

Kevin Kochis
Signature



APPENDIX C – PRICING SHEET

*White County Fire Service's
Fire Station 4 and Fire Station 6 Renovations*

Project# 2023-WCFS-001-A

I, the undersigned, hereby certify that the attached pricing sheet, for the above stated project is accurate and complete to the best of my knowledge. I am the authorized representative of the below stated business and affirm that all information in the estimate is true and correct.

By signing this, I acknowledge that the below stated business is committed to honoring the terms and conditions outlined in the attached pricing sheet. Furthermore, I certify that this price sheet is provided willingly and in good faith. I am aware of the legal implications of making false statements or misinterpretations in this document.

Kochis Construction LLC
Name of Company

Kevin Kochis
Authorized Representative (*print name*)

Kevin Kochis
Signature

11/26/2023
Date

For Use When County Depts Are
Obtaining Labor or Service Over
\$2,499.99 & Vendor Has No Employees
Must Be Accompanied By ID – See
Next Page

Contractor E-Verify Exemption Affidavit Pursuant To O.C.G.A. 13-10-91(b)(1)(D)(5)

To Be Used By Exempt Contractors, Sub-Contractors, and Sub-Subcontractors

By executing this affidavit, the undersigned contractor, sub-contractor, or sub-subcontractor verifies that it is exempt from compliance with O.C.G.A. § 13-10-91, stating affirmatively that the contractor, sub-contractor, or sub-subcontractor has no employees and does not hire or intend to hire employees for purposes of satisfying or completing the terms and conditions of any part or all of the original contract with White County and therefore, is not required to register with and/or utilize the federal work authorization program commonly known as E-Verify, or any subsequent replacement program, in accordance with the applicable provisions and deadlines established in O.C.G.A. § 13-10-91.

Kochis Construction LLC
Name of Exempt Contractor / Sub-Contractor / Sub-subcontractor

I hereby declare under penalty of perjury that the foregoing is true and correct.

Executed on Nov, 27, ²⁰²³~~2021~~ in Cleveland (City), Georgia (State)

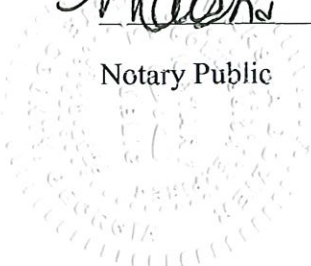
Kevin Kochis
Signature of Authorized Officer or Agent

Kevin Kochis Owner
Printed Name and Title of Authorized Officer or Agent

Subscribed and sworn before me this 27 day of November, 2023.

Maisha Dozi

Notary Public



Request for Taxpayer Identification Number and Certification

Give Form to the
requester. Do not
send to the IRS.

Print or type See Specific Instructions on page 2.	Name (as shown on your income tax return)		
	Business name/disregarded entity name, if different from above <i>Kochis Construction LLC</i>		
	Check appropriate box for federal tax classification: <input type="checkbox"/> Individual/sole proprietor <input type="checkbox"/> C Corporation <input type="checkbox"/> S Corporation <input type="checkbox"/> Partnership <input type="checkbox"/> Trust/estate <input checked="" type="checkbox"/> Limited liability company. Enter the tax classification (C=C corporation, S=S corporation, P=partnership) ▶ _____ <input type="checkbox"/> Other (see Instructions) ▶ _____		Exemptions (see Instructions): Exempt payee code (if any) _____ Exemption from FATCA reporting code (if any) _____
	Address (number, street, and apt. or suite no.) City, state, and ZIP code		Requester's name and address (optional) <i>White County Board of Commissioners 1235 Helen Hwy Cleveland, GA 30528</i>
List account number(s) here (optional)			

Part I Taxpayer Identification Number (TIN)

Enter your TIN in the appropriate box. The TIN provided must match the name given on the "Name" line to avoid backup withholding. For individuals, this is your social security number (SSN). However, for a resident alien, sole proprietor, or disregarded entity, see the Part I instructions on page 3. For other entities, it is your employer identification number (EIN). If you do not have a number, see *How to get a TIN* on page 3.

Note. If the account is in more than one name, see the chart on page 4 for guidelines on whose number to enter.

Social security number								

Employer identification number								
9	2	-	2	8	9	6	1	3

Part II Certification

Under penalties of perjury, I certify that:

1. The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me), and
2. I am not subject to backup withholding because: (a) I am exempt from backup withholding, or (b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest or dividends, or (c) the IRS has notified me that I am no longer subject to backup withholding, and
3. I am a U.S. citizen or other U.S. person (defined below), and
4. The FATCA code(s) entered on this form (if any) indicating that I am exempt from FATCA reporting is correct.

Certification Instructions. You must cross out item 2 above if you have been notified by the IRS that you are currently subject to backup withholding because you have failed to report all interest and dividends on your tax return. For real estate transactions, item 2 does not apply. For mortgage interest paid, acquisition or abandonment of secured property, cancellation of debt, contributions to an individual retirement arrangement (IRA), and generally, payments other than interest and dividends, you are not required to sign the certification, but you must provide your correct TIN. See the instructions on page 3.

Sign Here	Signature of U.S. person ▶ <i>Karina Kochis</i>	Date ▶ <i>3/14/23 11/27/2023</i>
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General Instructions

Section references are to the Internal Revenue Code unless otherwise noted.
Future developments. The IRS has created a page on IRS.gov for information about Form W-9, at www.irs.gov/w9. Information about any future developments affecting Form W-9 (such as legislation enacted after we release it) will be posted on that page.

Purpose of Form

A person who is required to file an information return with the IRS must obtain your correct taxpayer identification number (TIN) to report, for example, income paid to you, payments made to you in settlement of payment card and third party network transactions, real estate transactions, mortgage interest you paid, acquisition or abandonment of secured property, cancellation of debt, or contributions you made to an IRA.

Use Form W-9 only if you are a U.S. person (including a resident alien), to provide your correct TIN to the person requesting it (the requester) and, when applicable, to:

1. Certify that the TIN you are giving is correct (or you are waiting for a number to be issued),
2. Certify that you are not subject to backup withholding, or
3. Claim exemption from backup withholding if you are a U.S. exempt payee. If applicable, you are also certifying that as a U.S. person, your allocable share of any partnership income from a U.S. trade or business is not subject to the

withholding tax on foreign partners' share of effectively connected income, and

4. Certify that FATCA code(s) entered on this form (if any) indicating that you are exempt from the FATCA reporting, is correct.

Note. If you are a U.S. person and a requester gives you a form other than Form W-9 to request your TIN, you must use the requester's form if it is substantially similar to this Form W-9.

Definition of a U.S. person. For federal tax purposes, you are considered a U.S. person if you are:

- An individual who is a U.S. citizen or U.S. resident alien,
- A partnership, corporation, company, or association created or organized in the United States or under the laws of the United States,
- An estate (other than a foreign estate), or
- A domestic trust (as defined in Regulations section 301.7701-7).

Special rules for partnerships. Partnerships that conduct a trade or business in the United States are generally required to pay a withholding tax under section 1446 on any foreign partners' share of effectively connected taxable income from such business. Further, in certain cases where a Form W-9 has not been received, the rules under section 1446 require a partnership to presume that a partner is a foreign person, and pay the section 1446 withholding tax. Therefore, if you are a U.S. person that is a partner in a partnership conducting a trade or business in the United States, provide Form W-9 to the partnership to establish your U.S. status and avoid section 1446 withholding on your share of partnership income.



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

11/26/2023

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Simply Business 1 Beacon Street 15th Floor Boston, MA 02108	CONTACT NAME: Simply Business			
	<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 70%;">PHONE (A/C, No, Ext): (844) 654-7272</td> <td style="width: 30%;">FAX (A/C, No):</td> </tr> <tr> <td colspan="2">E-MAIL ADDRESS: contactus@simplybusiness.com</td> </tr> </table>	PHONE (A/C, No, Ext): (844) 654-7272	FAX (A/C, No):	E-MAIL ADDRESS: contactus@simplybusiness.com
PHONE (A/C, No, Ext): (844) 654-7272	FAX (A/C, No):			
E-MAIL ADDRESS: contactus@simplybusiness.com				
INSURED Kochis Construction LLC 370 Post Circle Rd Cleveland, Georgia 30528	INSURER(S) AFFORDING COVERAGE	NAIC #		
	INSURER A: Markel Insurance Company	38970		
	INSURER B:			
	INSURER C:			
	INSURER D:			
	INSURER E:			

COVERAGES **CERTIFICATE NUMBER:** **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS														
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <table style="width: 100%; border-collapse: collapse;"> <tr> <td><input type="checkbox"/> CLAIMS-MADE</td> <td><input checked="" type="checkbox"/> OCCUR</td> </tr> </table> GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:	<input type="checkbox"/> CLAIMS-MADE	<input checked="" type="checkbox"/> OCCUR	X		MKUS4273546XB	11/26/2023	11/26/2024	<table style="width: 100%; border-collapse: collapse;"> <tr><td>EACH OCCURRENCE</td><td style="text-align: right;">\$1,000,000</td></tr> <tr><td>DAMAGE TO RENTED PREMISES (Ea occurrence)</td><td style="text-align: right;">\$100,000</td></tr> <tr><td>MED EXP (Any one person)</td><td style="text-align: right;">\$5,000</td></tr> <tr><td>PERSONAL & ADV INJURY</td><td style="text-align: right;">\$1,000,000</td></tr> <tr><td>GENERAL AGGREGATE</td><td style="text-align: right;">\$2,000,000</td></tr> <tr><td>PRODUCTS - COMP/OP AGG</td><td style="text-align: right;">\$2,000,000</td></tr> </table>	EACH OCCURRENCE	\$1,000,000	DAMAGE TO RENTED PREMISES (Ea occurrence)	\$100,000	MED EXP (Any one person)	\$5,000	PERSONAL & ADV INJURY	\$1,000,000	GENERAL AGGREGATE	\$2,000,000	PRODUCTS - COMP/OP AGG	\$2,000,000
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	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <table style="width: 100%; border-collapse: collapse;"> <tr> <td><input type="checkbox"/> OWNED AUTOS ONLY</td> <td><input type="checkbox"/> SCHEDULED AUTOS</td> </tr> <tr> <td><input type="checkbox"/> HIRED AUTOS ONLY</td> <td><input type="checkbox"/> NON-OWNED AUTOS ONLY</td> </tr> </table>	<input type="checkbox"/> OWNED AUTOS ONLY	<input type="checkbox"/> SCHEDULED AUTOS	<input type="checkbox"/> HIRED AUTOS ONLY	<input type="checkbox"/> NON-OWNED AUTOS ONLY						<table style="width: 100%; border-collapse: collapse;"> <tr><td>COMBINED SINGLE LIMIT (Ea accident)</td><td></td></tr> <tr><td>BODILY INJURY (Per person)</td><td></td></tr> <tr><td>BODILY INJURY (Per accident)</td><td></td></tr> <tr><td>PROPERTY DAMAGE (Per accident)</td><td></td></tr> </table>	COMBINED SINGLE LIMIT (Ea accident)		BODILY INJURY (Per person)		BODILY INJURY (Per accident)		PROPERTY DAMAGE (Per accident)			
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	<input type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input type="checkbox"/> RETENTION						<table style="width: 100%; border-collapse: collapse;"> <tr><td>EACH OCCURRENCE</td><td></td></tr> <tr><td>AGGREGATE</td><td></td></tr> </table>	EACH OCCURRENCE		AGGREGATE											
EACH OCCURRENCE																					
AGGREGATE																					
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE <input type="checkbox"/> Y <input type="checkbox"/> N OFFICER/MEMBER EXCLUDED? <input type="checkbox"/> N/A <small>(Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below</small>						<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">PER STATUTE</td> <td style="text-align: center;">OTHER</td> </tr> <tr><td>E.L. EACH ACCIDENT</td><td></td></tr> <tr><td>E.L. DISEASE - EA EMPLOYEE</td><td></td></tr> <tr><td>E.L. DISEASE - POLICY LIMIT</td><td></td></tr> </table>	PER STATUTE	OTHER	E.L. EACH ACCIDENT		E.L. DISEASE - EA EMPLOYEE		E.L. DISEASE - POLICY LIMIT							
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	PROFESSIONAL LIABILITY						<table style="width: 100%; border-collapse: collapse;"> <tr><td>EACH CLAIM</td><td></td></tr> <tr><td>AGGREGATE</td><td></td></tr> </table>	EACH CLAIM		AGGREGATE											
EACH CLAIM																					
AGGREGATE																					

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

CERTIFICATE HOLDER 	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE
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White County
Georgia

October 2023

Monthly Financial Report

December 4, 2023



General Fund Revenues & Expenditures

FY2024 Approved Budget = \$27,983,509

October

Revenues - \$ 3,934,192

Expenditures - \$ 2,637,996

YTD

Revenues - \$ 6,858,856 (25%)

Expenditures - \$ 9,393,486 (34%)

4 months of 12 = 33%



FY2020 – 2024 Alcohol Taxes & Fees

FY2024 Budget = \$156,840 31% Rec'd

Description	FY2020	FY2021	FY2022	FY2023	FY2024
License Fees	\$45,435	\$42,258	\$42,412	\$ 49,596	\$ 15,206
Excise Tax	\$86,457	\$102,169	\$98,094	\$ 100,078	\$ 34,041
Total Alcohol Fees & Taxes	\$131,892	\$144,427	\$140,506	\$ 149,674	\$ 49,247



FY2020 – 2024 TAVT (Title Ad Valorem Tax)

FY2024 Budget = \$1,900,000 39% Rec'd

Month	FY2020	FY2021	FY2022	FY2023	FY2024
JUL	\$136,306	\$153,972	\$160,887	\$161,796	\$180,825
AUG	\$144,099	\$152,696	\$166,466	\$182,277	\$182,031
SEP	\$135,669	\$131,587	\$175,054	\$169,663	\$172,291
OCT	\$117,060	\$130,468	\$149,876	\$133,911	\$207,001
NOV	\$109,057	\$110,052	\$141,044	\$163,468	
DEC	\$116,593	\$144,212	\$178,495	\$146,906	
JAN	\$145,633	\$135,662	\$122,128	\$164,670	
FEB	\$113,050	\$150,507	\$160,983	\$158,073	
MAR	\$135,855	\$187,822	\$188,453	\$208,550	
APR	\$77,925	\$185,809	\$156,077	\$151,766	
MAY	\$113,550	\$179,239	\$167,551	\$155,830	
JUN	\$134,243	\$155,585	\$188,531	\$173,528	
TOTALS	\$1,479,040	\$1,817,611	\$1,955,545	\$1,970,438	\$742,148



FY2020 – 2024 Local Option Sales Tax

FY2024 Budget = \$4,550,000 37% Rec'd

Month	FY2020	FY2021	FY2022	FY2023	FY2024
JUL	\$262,785	\$297,868	\$373,325	\$406,727	\$414,648
AUG	\$286,083	\$312,028	\$400,728	\$432,997	\$476,329
SEP	\$254,983	\$536,860	\$353,260	\$370,726	\$398,808
OCT	\$256,146	\$303,063	\$333,517	\$382,268	\$406,479
NOV	\$268,171	\$327,889	\$371,966	\$434,395	
DEC	\$255,898	\$302,201	\$367,858	\$383,378	
JAN	\$266,878	\$332,728	\$379,436	\$417,954	
FEB	\$229,921	\$271,627	\$305,170	\$325,798	
MAR	\$210,195	\$259,792	\$304,125	\$319,169	
APR	\$228,103	\$320,464	\$363,527	\$367,135	
MAY	\$213,733	\$319,636	\$359,678	\$368,755	
JUN	\$268,557	\$342,165	\$369,094	\$386,787	
TOTAL	\$3,001,453	\$3,926,321	\$4,281,684	\$4,596,089	\$1,696,264



FY2020 – 2024 Hotel / Motel Tax

FY2024 Budget - \$2,375,000 32% Rec'd

Month	FY2020	FY2021	FY2022	FY2023	FY2024
JUL	\$104,588	\$120,932	\$176,808	\$176,867	\$195,798
AUG	\$125,026	\$176,030	\$267,524	\$222,704	\$210,129
SEP	\$83,767	\$124,013	\$190,448	\$161,576	\$187,899
OCT	\$95,041	\$160,567	\$183,901	\$172,494	\$175,878
NOV	\$123,552	\$174,828	\$188,515	\$247,179	
DEC	\$99,301	\$170,745	\$230,510	\$190,034	
JAN	\$98,634	\$148,085	\$176,886	\$165,397	
FEB	\$59,018	\$98,423	\$126,946	\$131,564	
MAR	\$50,630	\$105,446	\$117,928	\$114,009	
APR	\$46,562	\$131,277	\$171,026	\$122,786	
MAY	\$17,970	\$135,444	\$123,877	\$154,619	
JUN	\$72,217	\$156,170	\$171,676	\$148,020	
TOTAL	\$976,306	\$1,701,960	\$2,126,045	\$2,007,249	\$769,704



Separate Funds FY2024 Budget to Actual

October 2023

Fund	Total Budget	Cost to Gen Fund	Revenues YTD	Expenditures YTD	% Spent
Solid Waste	\$182,404	\$0	\$57,108	\$90,728	50%
E-911	\$1,420,127	\$750,000	\$469,622	\$439,733	31%
ARDEO	\$919,537	\$0	\$163,640	\$222,656	24%
Enotah Judicial	\$1,397,714	\$326,481	\$472,814	\$278,559	20%



2020 SPLOST

Start Date: December 2020

End Date: November 2026

October 2023 is 35th month of 72

Receipts = \$ 677,468

1% County Administration Fee = \$ 6,775

Cleveland & Helen portions = \$ 134,139 each

County portion = \$ 402,415

Earmarked Debt Service Funds = \$ 65,000

Project Fund Account = \$ 337,415



SPLOST2020 Receipts

Calendar Year History - Total To Date \$21,204,394

MONTH	2020	2021	2022	2023	2024	2025	2026
JAN	-	\$554,546	\$632,394	\$702,001			
FEB	-	\$452,713	\$508,617	\$542,956			
MAR	-	\$432,988	\$506,875	\$532,035			
APR	-	\$534,107	\$605,877	\$622,417			
MAY	-	\$532,726	\$599,464	\$604,603			
JUN	-	\$570,279	\$615,157	\$644,907			
JUL	-	\$622,210	\$677,879	\$691,119			
AUG	-	\$667,881	\$721,663	\$789,168			
SEP	-	\$588,768	\$617,383	\$664,680			
OCT	-	\$555,862	\$630,001	\$677,468			
NOV	-	\$619,945	\$723,945				
DEC	\$503,663	\$613,097	\$645,000				-
TOTAL	\$503,663	\$6,745,122	\$7,484,255	\$6,471,354			



White County
Georgia

QUESTIONS & COMMENTS