



WHITE COUNTY BOARD OF COMMISSIONERS
COMBINED WORK SESSION & CALLED MEETING
MONDAY, MARCH 25, 2024 AT 4:30 P.M.

AGENDA

1. Call to Order.
2. Presentation of proclamation declaring April 15-19 2024 as Exceptional Children's Week in White County.
3. Presentation of a joint proclamation to the South Enotah Child Advocacy Center, White County Family Connection, White County DFCS, and Enotah Court Appointed Special Advocates (CASA) designating April 2024 as Child Abuse Prevention Month in White County.

Land Use Items

NOTE: In reference to land use agenda item #4 & #5 – Georgia Zoning Procedures Law (O.C.G.A. 36-66-1, et seq.) requires a public hearing be advertised and held prior to any proposed zoning decision with a minimum of 10 minutes (per side) for both proponents and opponents to present data, evidence, and opinion. This requirement was met for the following item at the public hearing held at the Planning Commission Meeting. All information presented was then forwarded to the Board of Commissioners.

4. Consider a request for the extension of a Conditional Use Permit approved August 24, 2020 for a Verizon Wireless Telecommunications Tower at 99 R&R Drive Cleveland, Ga - tax map and parcel 006-006A. Total acreage is 23.13. Present use is A-1, Agriculture Forestry District.
5. Consider the land use application filed Kevin Bullock to redistrict property located at 2134 Asbestos Road Sautee Nacoochee, Georgia 30571 from C-1, Community Commercial District to R-1, Residential Single-Family District. Tax map and parcel 044C-068. Total acreage is 5.24.

New Business Items

6. Consider approval of the procedure for appeal to the White County Short-Term Rental (STR) Subdivision Map – County Code Chapter 16, Business Regulations & Licensing. Article II, Short-term Rental Host License - which was adopted by the Board of Commissioners on Jan. 8, 2024.
7. Consider grant acceptance for the Hazard Mitigation Grant Program (HMGP) Award through the Federal Emergency Management Agency (FEMA) to be used for updating the White County Multi-Jurisdictional Hazard Mitigation Plan to meet the federal requirements of the Disaster Mitigation Act of 2000. The current plan expires September 9, 2026.
8. Consider awarding the bid for renovations to Fire Stations 6 (Hwy 129 N) & 4 (Westmoreland Road) to accommodate 24-hour personnel and use.
9. Consider approval of the grant agreement for the Best Friends Animal Society Lifesaving Program including the following components: Community Cat Programs (CCP), Intake Diversion Programs, and Working Cat Programs for a one-year pilot program beginning June 1, 2024.

10. Consider the approval of the proposal from S&L Integrated for audio visual upgrades to the White County Courthouse under the ARPA (American Rescue Plan Act) grant funding awarded to the Enotah Judicial Circuit.
11. Consider amending the Coroner's Office Budget for the FY 2024 Budget Year.
12. Discuss the 2023-2024 Classification Compensation Study conducted by Condrey & Associates.
13. Review the agenda for the April 1, 2024 Regular Meeting.
14. Adjourn.



WHITE COUNTY BOARD OF COMMISSIONERS

PROCLAMATION

WHEREAS, Exceptional Children’s Week is an event created by the Georgia Council for Exceptional Children (CEC), whose mission is to improve, through excellence and advocacy, the education and quality of life for children and youth with exceptionalities and to enhance the engagement of their families;

AND WHEREAS, Georgia’s Exceptional Children’s Week will take place April 15th - April 19th 2024 with Exceptional Children’s Week being meant to educate the public about children with exceptionalities and garner support for Special Education;

AND WHEREAS, since its inception, Georgia Exceptional Children’s Week has served to spotlight the capabilities of children and youth with exceptionalities and the programs that support them in their communities;

AND WHEREAS, 675 students in the White County School System are currently receiving special education services;

AND WHEREAS, White County Schools have partnered with Project Unify at White County Middle School to create an Advocacy for Inclusion committee to foster leadership opportunities through their work as Exceptional Children’s Week Ambassadors during Exceptional Children’s Week 2024 observances;

AND WHEREAS, White County High School will host Exceptional Sports Day activities to highlight the abilities and talents of children and adults with disabilities;

AND WHEREAS, during Exceptional Children’s Week White County Schools and the community at large will participate in activities centered around celebrating all types of disabilities and exceptionalities, through issuance of this proclamation in order to inform the community of this important week.

NOW THEREFORE, be it known that in honor and recognition of – accomplishments of the White County School System, the families of exceptional student throughout White County, and most of all for the exceptional children and youth who call White County their home- the White County Board of Commissioners hereby proclaims:

April 15-19 2024 Exceptional Children’s Week in White County

PROCLAIMED, this 25th day of March, 2024.

WHITE COUNTY BOARD OF COMMISSIONERS

Travis C. Turner, Chairman

Terry D. Goodger, District 1

Lyn Holcomb, District 2

Edwin Nix, District 3

Craig Bryant, District 4



WHITE COUNTY BOARD OF COMMISSIONERS

PROCLAMATION

WHEREAS, one in 10 children will be the victim of sexual abuse before their 18th birthday.; and

WHEREAS, Child abuse and neglect is a serious problem affecting every segment of our community, and finding solutions requires input and action from everyone; and

WHEREAS, Exposure to childhood trauma has a powerful adverse effect on life-long physical and mental health and is recognized nationally as a major public health issue; and

WHEREAS, All Children have a right to a safe home – a place that provides each child with an opportunity to thrive, learn, and grow in an environment that fosters healthy development; and

WHEREAS, Communities that provide parents with the social support, knowledge of parenting and child development, and concrete resources they need to cope with stress and nurture their children ensure all children grow to their full potential; and

WHEREAS, Communities must make every effort to promote programs and activities that create strong and thriving children and families; and

WHEREAS, Child abuse can be prevented when all citizens become aware of the importance of supporting community leaders and parents to raise their children in a safe, nurturing environment.

WHEREAS, Consistent, early, and effective prevention strategies have been proven to save lives, protect resources, and strengthen and preserve Georgia’s families by ending cycles of abuse and neglect; and,

WHEREAS, prevention remains the best defense for our children and families;

THEREFORE, the White County Board of Commissioners, does hereby proclaim:

APRIL 2024 AS CHILD ABUSE AND NEGLECT PREVENTION MONTH IN WHITE COUNTY

and urge all citizens to recognize this month by dedicating themselves to the task of improving the quality of life for all children and families.

PROCLAIMED, this 25th day of March, 2024.

WHITE COUNTY BOARD OF COMMISSIONERS

Travis C. Turner, Chairman

Terry D. Goodger, District 1

Lyn Holcomb, District 2

Edwin Nix, District 3

Craig Bryant, District 4



WHITE COUNTY

Board of Commissioners

Item Title: Consider extension of Conditional Use Permit for Verizon Cell Tower at 99 R&R Drive, Cleveland

For Meeting Date: 3/25/2024

Work Session **Regular Meeting** **Public Hearing**

Category (Select One): Land Use Application

Submitted By: John Sell

Attachments: Yes **If yes, please list each file name below:**

1. 16919
2. Letter from David Kirk, Troutman, Pepper, Hamilton, Sanders LLP
3. BOC Minutes 8/24/2020
4. Planning Commission Minutes 8/3/2020
5. Planning Commission Public Hearing Minutes 6/29/2020

Purpose:

Consider a request for the extension of a Conditional Use Permit for a Verizon Cell Tower at 99 R&R Drive, Cleveland. Request was made in the form of a letter from David Kirk, an attorney with Troutman, Pepper, Hamilton and Sanders on behalf of Verizon.

Background / Summary:

- In August of 2020, the White County Board of Commissioners approved a Conditional Use Permit for Verizon for a Cell Tower located at 99 R&R Drive. Verizon also received a variance from the Planning Commission to reduce the size of the parcel of land and also paid \$1000 for a cell tower permit in October of 2020 which expires after 12 months. The 185-foot monopole tower was never constructed due to supply chain issues and financial constraints. The request for the conditional use permit met no opposition at either the Planning Commission or BOC and remains essentially the same at the time of this request.
- The conditional use permit is only good for 24 months, however, White County never notified the applicant of its intent to revert the zoning as is required by White County Code, Appendix C, Section 1816 which states "If, after 24 months from the date the board of commissioners approves a map amendment or conditional use permit, action has not been taken to utilize the property, pursuant to such conditions, such as securing a development permit, the approval shall expire. The board of commissioners shall, by official action, cause the conditional use approval to expire or the land use district to revert to the district classification assigned to the property immediately prior to the approval. The planning director shall notify all property owners in question of pending action to rescind or revoke approvals, and such notice shall be by certified mail, dated at least 15 days prior to the date of the board of commissioner's scheduled meeting and directed to the owner's address as it appears on the tax rolls of the board of commissioners. Prior to notification by the planning director of any reversion of approval, the owner of the property in question may petition the board of commissioners for a modification or extension of land use or conditional use

approval. Any such extension shall valid for 24 months from the date of approval. Only one such extension shall be permitted.

- Since no notification to revert has been made, the request to extend can be granted.

Department Recommendation:

Staff recommends extending the Conditional Use Permit. Also, should Verizon still want the variance, a new application, to be heard by the Planning Commission, and payment must be filed. Also a new Cell Tower Permit must be applied and paid for in order to construct the tower.

Options:

- Uphold staff's recommendation and approve the extension.
- Reverse staff's recommendation and deny the extension.
- Table the application for further review or to send back to staff.

Budget Information: Applicable Not Applicable

Budgeted: Yes No

Finance Director's Comments (if applicable):

-

County Manager Comments:

-

WHITE COUNTY BOARD OF COMMISSIONERS

PLANNING PERMIT

1241 HELEN HWY STE 220 / CLEVELAND, GA 30528

PHONE: (706)865-6496 FAX: (706)348-7959

DATE ISSUED: 08/24/2020

PERMIT #: 2020-16919

LOCATION:		DISTRICT	TAX MAP PARCEL
		3	006 006A
	99 R & R Dr	LOT	ZONING DISTRICT
			A1
OWNER:	VERIZON WIRELESS		TOTAL VALUATION
			\$ 0
CONTRACTOR:			TOTAL SQ FT
			0
			HEATED/UNHEATED
			0 / 0

TYPE CONSTRUCTION: VARIES

OCCUPANCY GROUP: R-3 RESIDENTIAL

<u>FEE CODE</u>			<u>FEE</u>
CONDITIONAL USE			250.00
TOTAL PAID:	250.00	**PAID IN FULL**	TOTAL AMOUNT: 250.00

REMARKS: A-1 CU for cell tower
*Approved by BOC 8.24.2020

Not Transferable
POST IN A CONSPICUOUS PLACE

(SIGNATURE OF CONTRACTOR/OWNER)

Mercedes Dodel

(ISSUED BY)

(DATE)

9/18/2020

(DATE)

troutman.com

David C. Kirk

March 4, 2024

VIA E-MAIL

White County Board of Commissioners
Attn: Mr. John Sell, White County Community
& Economic Development Director
1241 Helen Highway
Suite 200
Cleveland, Georgia 30528

**Re: Request for Extension to Conditional Use Permit for Construction of a
Telecommunications Tower Located at 99 R & R Drive, Cleveland, Georgia**

Dear Chairman Turner and Commissioners:

Pursuant to Section 1816 of the Land Use Regulations of White County, I am writing to respectfully request the approval of a two-year extension to the Conditional Use Permit granted to Verizon Wireless by the Board of Commissioners through unanimous vote on August 22, 2020. The request comes before you so that Verizon Wireless may proceed with the anticipated construction of this important telecommunications facility. The details of the proposal approved by the Board of Commissioners – a 185-foot monopole tower located on the 23+ acre subject property – have not materially changed since the original approval. While construction was delayed due to a variety of factors, including supply chain issues and budgetary constraints, if the requested extension is approved, Verizon Wireless anticipates submitting the documentation necessary for a development permit through its build-to-suit partner, Tarpon Towers, during the 2nd Quarter of 2024. Furthermore, Verizon Wireless anticipates construction will begin no later than the 4th Quarter of 2024, likely sooner.

I appreciate your thoughtful consideration of this request. Should you have any questions, feel free to let me know. My understanding is this request will come before you at an upcoming meeting, so I look forward to seeing you then.

Best regards,



David C. Kirk
Attorney for Verizon Wireless

White County Change of Land Use District Application

(** This portion to be completed by White County Planning Staff**)

LA#: <u>2020-10919</u>	Tax Map and Parcel # (TMP): <u>006-006A</u>
Submittal Date: <u>5/21/2020</u>	Time: <u>3</u> am/pm <input checked="" type="radio"/> Received by: <u>MO</u> (staff initials)
Fees Assessed: <u>\$250</u>	Paid: _____ Commission District: <u>3</u>
Planning Commission Hearing Date: <u>6/29/2020</u>	
County Commission Hearing Date: <u>7/27/2020</u>	

APPLICANT INFORMATION (or Authorized Representative)

Printed Name: Kiersten Lurer for Verizon

Address: 1000 Holcomb Woods Parkway, Suite 210, Roswell, GA 30076

Phone: (Home): N/A (Mobile): 404.664.2718 (Business): 404.664.2718

Email: KLurer@pmass.com

Status: [] Owner Authorized Agent [] Lessee [] Option to purchase

Notice: If applicant is other than owner, enclosed Property Owner Authorization form must be completed.

PROPERTY OWNER/PROPERTY INFORMATION

Name: Michael and Kimberly Robinson

Street Address of redistricted property: 99 R & R Drive, Cleveland, GA 30528

Tax Map and Parcel #: 006 006A

23.13 acre tract

Change from District: A-1 to: A-1 with Tower Total acreage being changed: 0.25 acres of disturbanc

Directions to Property: Take GA-115 West for 1.59 miles. Turn slight Right onto Town Creek

Road and travel 6.22 miles. Turn Right onto Paradise Valley Road, then make a hard Right

onto R & R Drive. Follow gravel drive 209', then follow the dirt road forking to the right toward the barn. The proposed tower will be in between the barn and old [overgrown] corral.

Subdivision Name (if applicable): _____ Number of Lots: _____

Current Use of Property: _____

Any prior redistricting requests for property: _____ If yes, please provide redistricting case #: _____

SURROUNDING PROPERTY LAND USE CLASSIFICATION:

North: R-1 South: Lumpkin County East: A-1 West: R-1

Access to the proposed development will be provided from:

Road Name: R & R Drive Type of Surface: Gravel/Dirt Road

REQUESTED ACTION AND DETAILS OF PROPOSED USE

Redistricting to: _____ Conditional Use _____ Variance _____

Short Term Rental _____

Special Use Permit for: _____

Proposed Use: 185' monopole-style telecommunications tower (+ 10' lightning rod = 195' overall) and corresponding ground equipment. Both will sit inside a fenced compound surround by a 10' wide landscape buffer.

Existing Utilities: Water Sewer Gas Electric Broadband

Proposed Utilities: Water Sewer Gas Electric Broadband

Other Details: _____

RESIDENTIAL

No. of Lots: _____ Minimum Lot Size: _____ (acres) No. of Units: _____

Minimum Heated Floor Area: _____ sq. ft. Density/Acre: _____

Type: Apartments Condominiums Townhomes Single Family

Cabins RVs Other

Other: _____

Is an Amenity area proposed? _____ If yes, what? _____

COMMERCIAL AND INDUSTRIAL

Acres: 23.13 acre tract Building Area: 44 SF Concrete No. of Parking Spaces: N/A
0.25 acres of disturbance Slab for Radio Cabinets +

28 SF Concrete Slab for Generator = 72 SF Total (inside 2,500 SF graveled, fenced compound.)

APPLICANT CERTIFICATION

I hereby request the action contained within this application relative to the property shown on the attached plats and site plan and further request that this item be placed on both the Planning Commission and Board of Commissioners agenda(s) for a public hearing.

I understand that the Planning Department staff may either accept or reject my request upon review. My request will be rejected if all the necessary data is not presented.

I understand that I have the obligation to present all data necessary and required by statute to enable the Planning Commission and Board of Commissioners to make an informed determination on my request. I understand that I may seek legal advice if I am not familiar with the land use requirements and procedures.

I understand that my request will be acted upon at the Planning Commission and Board of Commissioners hearings and that I am required to be present or to be represented by someone able to present all facts and answer all questions. I understand that failure to appear at a public hearing shall result in the postponement or denial of my application request. I further understand that it is my responsibility to be aware of relevant public hearing dates and times regardless of notification from White County.

I hereby certify that I have read the above and that the above information, as well as the attached information, is true and correct.

Signature *[Signature]* Gersten Lurer Date 12/5/19
(for Verizon)
Witness *[Signature]* Tiffini Waddell Date 10/5/19

WITHDRAWAL

Notice: This section only to be completed if application is being withdrawn.

I hereby withdraw application #: _____

Signature _____ Date _____

Withdrawal of Application:

Withdrawals of any application may be accommodated within the Planning Department if requested before the Planning Commission agenda is set. Therefore, withdrawals may not be made after ten (10) days prior to the scheduled Planning Commission meeting hearing, unless accompanied by a written request stating specific reasons for withdrawal. This withdrawal request is to be published in the legal organ prior to the meeting. Following the written request and publication, the Planning Commission will vote to remove the item from the agenda at the scheduled hearing. Please note that, should the withdrawal be denied, the item will receive deliberation and public hearing with a decision by the Planning Commission. Further, the applicant is encouraged to be present at the hearing to substantiate reasons for withdrawal. Please note that no refund of application fees may be made unless directed by the White County Board of Commissioners.

ZA _____

M&P# 006 006A _____

List of Adjacent Property Owners

It is the responsibility of the Applicant to provide a list of adjacent property owners. This list must include the name and mailing address of anyone who has property bordering your property or who has property directly across the street from your property.

**** Please note, this information should be obtained using the Tax Map and Parcel listing for any parcel(s) adjoining or adjacent to the parcel where a district re-classification, variance, conditional use permit or special use permit is being requested.**

	<u>Name</u>	<u>Address</u>
(North) M&P# 006/093A	1. Eugene Hooper /	325 Twin Springs Lane, Demorest, GA 30535
(East) M&P# 006/006	2. Brian Robinson /	215 R & R Drive, Cleveland, GA 3058
(South) M&P# 114/035 <small>Lumpkin County</small>	3. Craig H and Cydney A. Kritzer /	700 Ridge Point Drive, Dahlonega, GA 30533
(West) M&P# 006/008	4. Richard A. Graham /	2446 Murdock Rd NE, Marietta, GA 30062
(West) M&P# 006/007	5. Lyette Yates Morris and David V. Morris /	3439 Paradise Valley Rd, Cleveland, GA 30528
M&P# _____	6.	_____
M&P# _____	7.	_____
M&P# _____	8.	_____
M&P# _____	9.	_____
M&P# _____	10.	_____
M&P# _____	11.	_____
M&P# _____	12.	_____
M&P# _____	13.	_____
M&P# _____	14.	_____
M&P# _____	15.	_____

NOTICE OF AGRICULTURAL DISTRICT ADJACENCY

Agricultural districts include uses of land primarily for active farming operations and can result in odors, noise, dust and other effects which may not be compatible with adjacent development. Agri-tourism, tourism and forestry uses can sometimes generate noise and traffic which may not be compatible with adjacent development. Future abutting developers in non-agricultural land use districts shall be provided with this "Notice of Agricultural Adjacency" prior to administrative action on either land use district, the issuance of a building or occupancy permit or approval of a subdivision of property.

Prior to administrative action, the applicant shall be required to sign this waiver which indicates that the applicant understands that a use is ongoing, adjacent to his/her use, which can produce odors, noise, dust and other effects which may not be compatible with the applicant's development. Nevertheless, understanding the effects of the adjacent Agricultural District uses, the applicant agrees by executing this form to waive any objection to those effects and understands that his/her district change and/or permits or other approvals are issued and processed in reliance on his agreement not to bring any action asserting that the adjacent uses in the Agricultural District constitute a nuisance against the local government and adjoining land owners whose property is located in an Agricultural District. This waiver shall be provided and made applicable for subsequent purchasers and owners or heirs of his/her property.

This notice and acknowledgement shall be public record.

Applicant Signature: Kj

Applicant Printed Name: Kiersten Lurer for Verizon

Application Number: TBD

Date Signed: 12/5/19

Sworn and subscribed before me

this 5th day of December, 2019

Tiffini Waddell
Notary Public

My Commission Expires: 8-25-2023



DISCLOSURE OF CAMPAIGN CONTRIBUTIONS
(APPLICANTS AND REPRESENTATIVE(S) OF REQUESTED ACTION)

Pursuant to O.C.G.A. Section 36-67 A-3.A, the disclosure of any campaign contributions aggregating \$250.00 or more to a local government official who will consider an application for re-classification or for a conditional use or special use permit is mandatory when an application or any representation of application for re-classification of district or for conditional use or special use permit has been made within two (2) years immediately preceding the filing of a request for reclassification or conditional use or special use permit by the same applicant and/or representative of said applicant.

It shall be the duty of the applicant and/or any representatives of the applicant to file a disclosure with the governing authority of the respective local government to show the following:

Name of local official(s) to whom campaign contribution was made:

The dollar amount and description of each campaign contribution made by the applicant to the local government official during the two (2) years immediately preceding the filing of this application for action for district re-classification, conditional use or special use permit.

Amount \$ _____ Date: _____

Enumeration and description of each gift (when the total value of all gifts is \$250.00 or more) made to the local government official during the two (2) years immediately preceding the filing of this application.

Signature of Applicant Representative of Applicant:

Ky, Kiersten Luer for Verizon Date: 12/5/19

BY NOT COMPLETING THIS FORM YOU ARE MAKING A STATEMENT THAT NO DISCLOSURE IS REQUIRED.

This form may be copied for each applicant. Please attach additional sheets if needed.

ORIGINAL

DISCLOSURE OF CAMPAIGN CONTRIBUTIONS
(APPLICANTS AND REPRESENTATIVE(S) OF REQUESTED ACTION)

Pursuant to O.C.G.A. Section 36-67 A-3.A, the disclosure of any campaign contributions aggregating \$250.00 or more to a local government official who will consider an application for re-classification or for a conditional use or special use permit is mandatory when an application or any representation of application for re-classification of district or for conditional use or special use permit has been made within two (2) years immediately preceding the filing of a request for reclassification or conditional use or special use permit by the same applicant and/or representative of said applicant.

It shall be the duty of the applicant and/or any representatives of the applicant to file a disclosure with the governing authority of the respective local government to show the following:

Name of local official(s) to whom campaign contribution was made:

The dollar amount and description of each campaign contribution made by the applicant to the local government official during the two (2) years immediately preceding the filing of this application for action for district re-classification, conditional use or special use permit.

Amount \$ 0 Date: 4/29/2020

Enumeration and description of each gift (when the total value of all gifts is \$250.00 or more) made to the local government official during the two (2) years immediately preceding the filing of this application.

None

Signature of Property Owner:

Mike Holt, Kim Robinson Date: 4/29/2020

BY NOT COMPLETING THIS FORM YOU ARE MAKING A STATEMENT THAT NO DISCLOSURE IS REQUIRED.

This form may be copied for each applicant. Please attach additional sheets if needed.

ORIGINAL

PROPERTY OWNER AUTHORIZATION

I WE Michael and Kimberly Robinson, hereby swear that I/we own the property located at:

address and tax parcel #: 99 R & R Drive, Cleveland, GA 30528

PID#: 006 006A

as shown in the tax maps and/or deed records of White County, Georgia, and which parcel will be affected by this request.

I hereby authorize the person named below to act as the applicant or agent in the pursuit of the requested action on this property. I understand that any action granted and/or conditions or stipulations placed on the property will be binding upon the property regardless of ownership. The under signer below is authorized to make this application. The under signer is aware that no application or re-application affecting the same land shall be acted upon within six (6) months from the date of the last action by the White County Board of Commissioners.

Printed Name of applicant or agent: Kiersten Lurer, PM&A for Verizon

(I will sign last) Signature of applicant or agent:

Printed Name of Owner(s): Michael and Kimberly Robinson

Signature of Owner(s): Michael Robinson
Kimberly Robinson

Mailing Address: 99 R & R Drive

City, State, ZIP: Cleveland, GA 30528

Telephone number(s) office/home: _____

Mobile #s: [REDACTED]

Sworn and subscribed before me this 29 day of April, 2020

Courtney Marie Allison

Notary Public { }

My Commission Expires: 1/24/21



White County Planning and Community Development

I, Kiersten Luce (for Vernon) have been advised that I or someone to represent me must be in attendance when my application is before the White County Planning Commission and the White County Board of Commissioners or it will be tabled. I also acknowledge that I have been made aware of the below dates upon submission of my application.

Senior Center, 1239 Helen Hwy, Cleveland, 6:00pm

Public Hearing Date (Planning Commission):

6/29/2020

Regular Meeting Date (Planning Commission):

7/6/2020

Administration Building, 1235 Helen Hwy, Cleveland, 4:30pm

Board of Commissioners Meeting Date:

7/27/2020


Signature of Applicant

5/22/20
Date

11.11.19 Rev
12.4.19 Rev
1.31.2018 Rev

OFFICE USE ONLY
Copy of dates given to applicant: 5/22/2020 (date)
Staff Initials: ML





P. Marshall and Associates, LLC
1000 Holcomb Woods Parkway
Suite 210 Roswell, GA 30076
Tel: (678) 280-2325
Fax: (678) 280-2329
Email: info@pmass.com

April 27, 2020

White County Planning Commission
ATTN: Harry Barton, Director
1241 Helen Highway, Suite 220
Cleveland, Georgia 30528
706.865.6768

RE: Letter of Intent for Proposed "Damascus Church Rd" Telecommunications Facility to be located off Paradise Valley Rd (Parcel ID: 006-006A) via Re-Zoning

Dear Mr. Barton:

This Letter of Intent and accompanying material are submitted in support of the above-referenced Telecommunications Tower Application (Re-Zoning.) Verizon Wireless will serve as the anchor tenant at this Facility. Verizon respectfully requests approval of this permit to enable Verizon to serve existing and future customers in a manner consistent with the Telecommunications Act of 1996.

After several months of study in finding a suitable site, Verizon is proposing to have a new, unmanned communications facility constructed off of Paradise Valley Road. This new Facility is needed to improve coverage to the site's service area, which includes Damascus Church and Adair Mill Roads, including the North Georgia Zoo. It will also provide improved service between sites that are now stretching to serve customers in this area. This proposed facility will consist of a 185' monopole-style tower (+ 10' lightning rod = 195' overall height), inside a 50' x 50' fenced compound that will include corresponding ground equipment. Said compound will be surrounded by a 10' wide landscape buffer to effectively screen the ground equipment.

The demand for wireless communication continues to grow in this area and makes this an important location for Verizon. In addition to providing service to its customers, the additional infrastructure will provide needed capacity for coverage of 911 emergency calls, transfer of calls from subscribers of other systems, while reducing the need for additional towers in the immediate vicinity.

Approach to a Solution

The design objective of this Verizon Search Ring is to improve coverage to the site's service area, which includes Damascus Church and Adair Mill Roads, including the North Georgia Zoo and nearby residential areas. Our first step is always to investigate existing structures for co-location. Unfortunately, there are no existing structures in the RF-designed search area. White



P. Marshall and Associates, LLC
1000 Holcomb Woods Parkway
Suite 210 Roswell, GA 30076
Tel: (678) 280-2325
Fax: (678) 280-2329
Email: info@pmass.com

County's Telecommunications Code was reviewed, as were a variety of maps (topography, parcel size, zoning, hydrology, floodplain, etc.) compiled and analyzed for potential candidate sites. The search ring was super-imposed on these various maps to aid in evaluation of options and concurrent evaluation of issues. FCC's database of communications facilities was reviewed to make sure we had not overlooked any options within or immediately adjacent to the search area.

There are no existing towers in the Search Ring or nearby. The closest existing tower is (SBA) located 3.09 miles northeast of the proposed site. Unfortunately, it is unable to meet the design objectives of this ring because it shifts coverage too close to Verizon's existing "Paradise" site and therefore won't improve coverage to Damascus Church and Adair Mill Roads or the zoo. Please refer to the Propagation Maps in Tab 2 (slides 14 & 15) to aid in a visual explanation of why this is the case.

The Area

The RF-issued Search Ring is comprised of properties zoned A-1 (Agriculture Forestry) and R-1 (Residential Single Family.) The subject parcel is a 23.13-acre tract that is mostly wooded, with some greenspace. It is zoned A-1 and surrounded by A-1 to the east, R-1 to the north and west and Lumpkin County borders the southern property.

This Telecommunications Facility will be constructed so as to exceed all property line setback requirements. The closest property line is 197 feet to the west; the tower will sit 375 feet from the northern property line, 560 feet from the eastern property line and 287 feet from the southern property line.

The Facility

The proposed Facility will be constructed in accordance with the applicable County, State and Federal laws. Due to the proposed tower's height and location, no FAA registration is required and therefore the tower will not be lighted.

Once constructed, the facility will be unmanned and will have no distinguishable contribution to local traffic. Only monthly maintenance visits in a standard pickup truck are anticipated—each lasting up to thirty minutes—barring any emergency. The facility will not have water or sewer services, and it will not generate any waste. The only utility connections required are electric and T-1 (telephone) services. The electricity demand will be similar to that of a single-family residence. The facility will not create a significant demand for community services. In fact, it will provide a service to the community in the form of safe, reliable and uninterrupted PCS service for use by the general public, emergency services personnel and others regardless of their chosen carrier in this portion of White County.



P. Marshall and Associates, LLC
1000 Holcomb Woods Parkway
Suite 210 Roswell, GA 30076
Tel: (678) 280-2325
Fax: (678) 280-2329
Email: info@pmass.com

Closing

The applicant believes this submission generally complies with the goals of White County's Government as well as the specific requirements and intentions of Article VI in the Code of Ordinances. Therefore, Applicant hereby respectfully requests that the Board of Commissioners approve this Application as submitted. We are aware of no needed Variance but ask this application be considered as covering such a contingency and that we not be required to initiate a separate review process. We anticipate a smooth review of our application, but raise necessary constitutional objections, because it is required under Georgia law to preserve our right to appeal.

I am happy to answer any questions the County may have or provide additional information regarding this application. Please feel free to contact me if I can be of further assistance.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Kiersten Lurer', is placed above the typed name.

Kiersten Lurer
Authorized Agent for Verizon
klurer@pmass.com
404.664.2718



P. Marshall and Associates, LLC
1000 Holcomb Woods Parkway
Suite 210 Roswell, GA 30076
Tel: (678) 280-2325
Fax: (678) 280-2329
Email: info@pmass.com

Notice of Potential Constitutional Challenge

Please understand that the following language is inserted into this Application for the sole purpose of preserving our legal remedies in the event of an adverse decision.

Denial of this Application may be considered arbitrary and capricious as between this Property Owner, Verizon Wireless, in relation to owners of similarly situated property and would constitute a taking without just compensation and without due process of law. Denial would prevent Verizon Wireless from constructing and operating facilities licensed by the FCC in the public interest and would prevent the implementation of licensing policies and objectives. Hence, such denial would be in violation of the Fifth and Fourteenth Amendments to the United States Constitution, and Sections 221 and 301 of the Federal Communications Act, and the Telecommunications Act of 1996.

Such an application of the Code of Ordinances for White County, Georgia which does not allow a communications structure and related equipment shelters to be constructed on the property as requested by the Applicant, is unconstitutional, illegal, null and void, constitutes a taking of the Applicant's property in violation of the Just Compensation Clause of the Fifth Amendment to the Constitution of the United States, Article I, Section I, Paragraph I, and the Equal Protection Clause of the Fourteenth Amendment to the Constitution of the United States Constitution, and other similar provisions of the Constitution of the State of Georgia of 1983, and denies the Applicant an economically viable use of its land while not substantially advancing legitimate state interests.



Public Health
Prevent. Promote. Protect.

White County Environmental Health

Pamela Logan, M.D., M.P.H., M.A., Health Director
1241 Helen Hwy, Unit 210 • Cleveland, Georgia 30528
PH: 706-348-7698 • FAX: 706-348-1670 • www.phdistrict2.org

Banks, Dawson, Forsyth, Franklin, Habersham, Hall, Hart, Lumpkin, Rabun, Stephens, Towns, Union and White Counties

- Evaluation Applied For
- Appropriate Permit Applied For
- Evaluation, Add-on/Modification Permit Not Applied For At This Time

DATE: 12-16-19

APPLICANT NAME: Kiersten Lurer (for Verizon Wireless)

PROPERTY ADDRESS: 99 R & R Drive
Cleveland, Ga 30528

White County Planning Department:


In reference to a request for a change of zoning/land use, application will need to be made for an existing system evaluation to determine:

- that the permit on file is the correct permit for the property in question;
- that there is no evidence of system failure;
- that the septic system is appropriately sized for the current and proposed use;
- that there is adequate repair after the proposed addition;
- that there are no conditions that could adversely affect the functionality of the system.

Please note that this is NOT an all-inclusive list. Based upon the information submitted and the outcome of the evaluation, it may be determined that the septic system needs additional capacity or upgrade. If so, a permit will need to be obtained and the work completed before an approval can be given.

White County Environmental Health
District 2 Public Health

By signing below, I certify all information submitted is accurate and true to the best of my knowledge.

 Ky Kiersten Lurer for Verizon
Applicant Signature

THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN FEET. EQUIPMENT USED - TOPCON GTS-28 TOTAL STATION

THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN FEET AND AN ANGULAR ERROR OF PER ANGLE POINT. AND WAS ADJUSTED USING RULE.

GSCCA.org - Image Index MAGNETIC MERIDIAN

MAP PREPARED FOR
**MICHAEL H. ROBINSON
AND
DAVID BRIAN ROBINSON**

LAND LOT 73 4th DISTRICT
WHITE COUNTY, GEORGIA
DATE: 09-24-2002 SCALE: 1" = 200'
B/168/134
GRAPHIC SCALE
200' 100' 0 200' 400' 600'

THIS PROPERTY IS NOT IN A DESIGNATED FLOOD HAZARD AREA.

2002 JUN 29 10:11:20
54
24

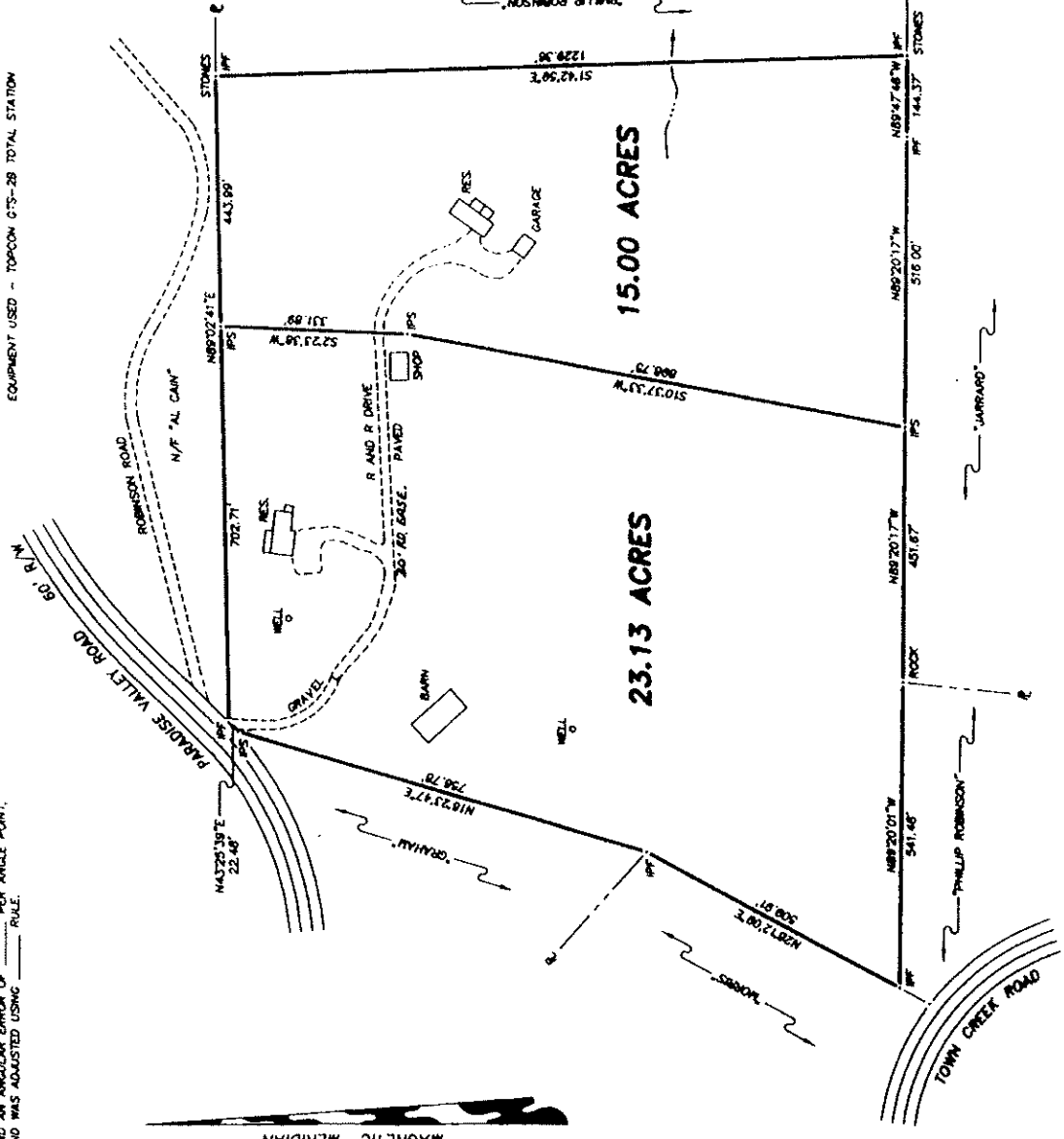


Road frontage of record priority 1988.

JOB NO. 02-192



EDIE HOOD & ASSOCIATES
& COURTHOUSE SQUARE
CLEVELAND, GA 30528
PHONE: (706) 865-3676
FAX: (706) 865-7303



4th DISTRICT L.L.73 L.L.72
740.00' STONES
1st DISTRICT L.L.61

White County, Georgia

White County - GA - Tax

[Overview & Pay](#)
[View & Print Bill](#)
[View & Print Receipt](#)
[Address Change](#)
[eAlerts](#)
[Print](#)
[Back to Search](#)

Owner Information

ROBINSON MICHAEL H ROBINSON KIMBERLY J
 99 RAND R DR
 CLEVELAND, GA 30528

Payment Information

Status ✔ Paid
 Last Payment Date 10/30/2019
 Amount Paid \$2,430.01

[Search for Additional Records](#)

Property Information

Parcel Number 006 006A
 District 1 WHITE COUNTY UNINCORPORATED
 Acres 23.13
 Description LL73 LD4
 Property Address 99 R & R DR
 Assessed Value \$120,040
 Appraised Value \$300,100

Bill Information

Record Type Property
 Tax Year 2019
 Bill Number 14543
 Account Number 0061276
 Due Date 11/15/2019

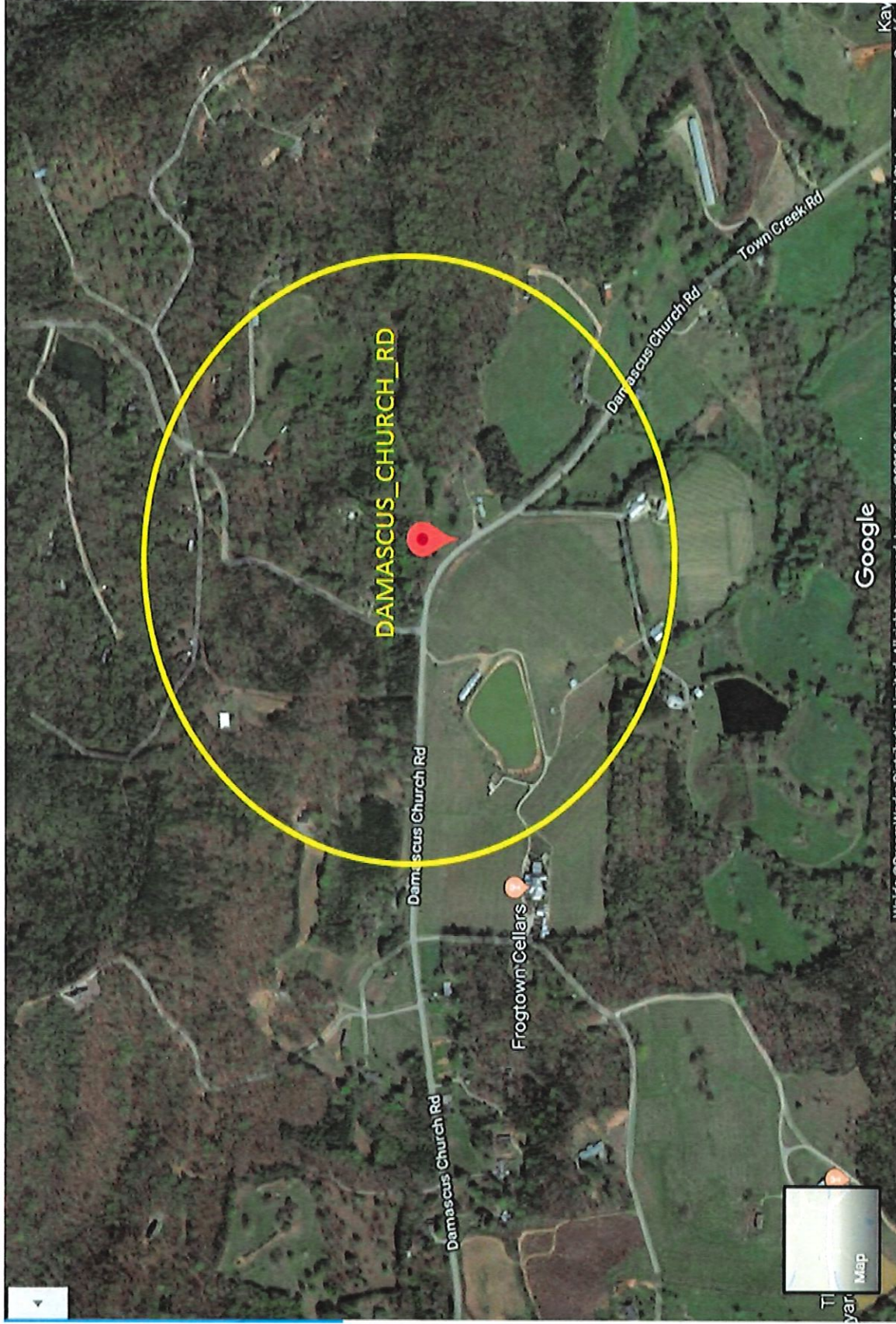
Taxes

Base Taxes \$2,430.01
 Penalty \$0.00
 Interest \$0.00
Total Due \$0.00

Tax Breakdown

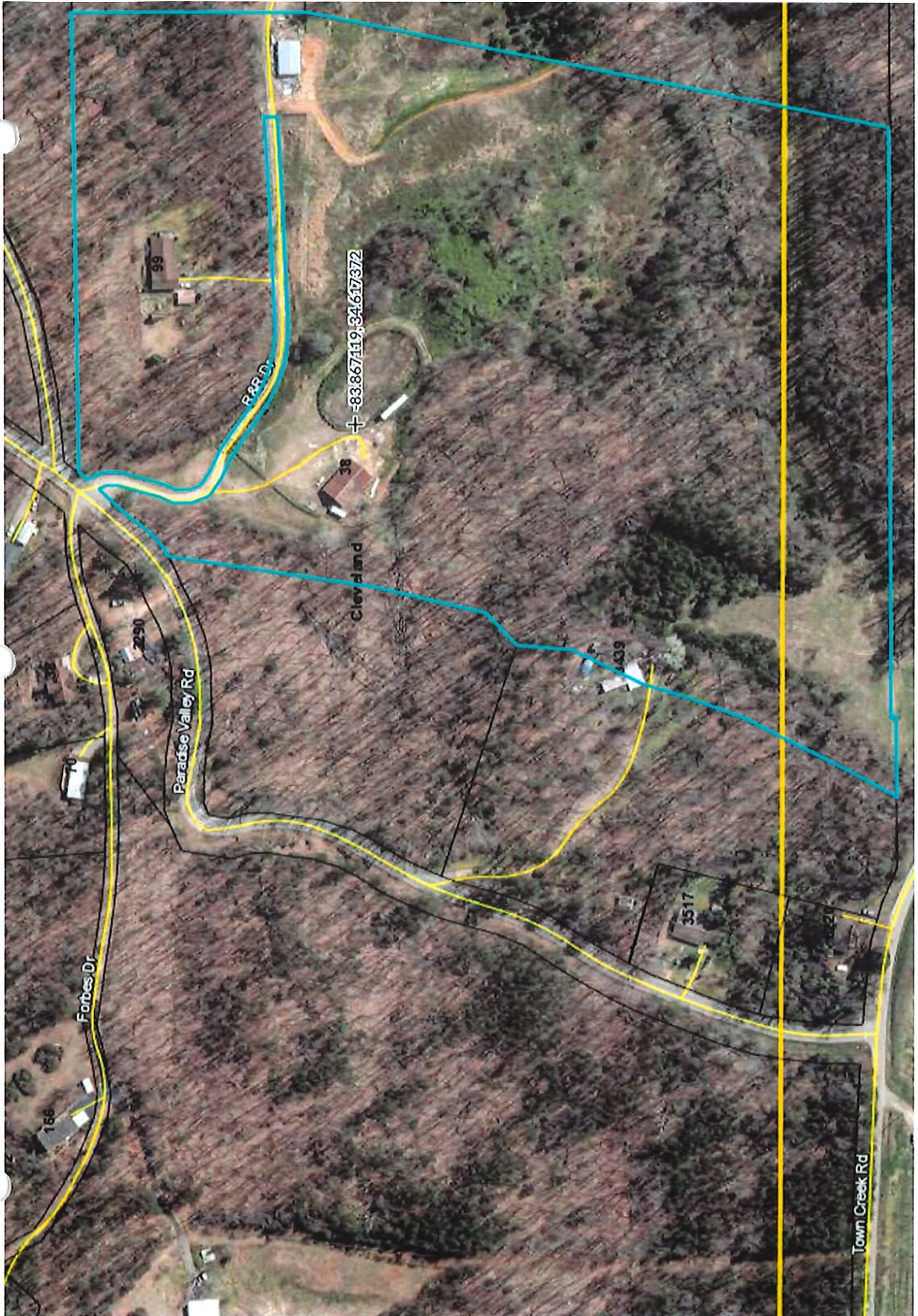
Entry	Adjusted FMV	Net Assmt	Exemptions	Taxable Val	Millage Rate	Gross Tax	Credit	Net Tax
STATE TAX	300,100	120,040	33,964	86,076	0	\$0.00	\$0.00	\$0.00
COUNTY M&O	300,100	120,040	33,964	86,076	10.75	\$925.32	\$0.00	\$925.32
SCHOOL M&O	300,100	120,040	33,964	86,076	17.481	\$1,504.69	\$0.00	\$1,504.69
Totals					28.231	\$2,430.01	\$0.00	\$2,430.01

DAMASCUS_CHURCH_RD Search Ring



Latitude	Longitude	Site Name	Tower Owner	Tower Height	RC Requested
34.61465007	-83.86871608	DAMASCUS_CHURCH_RD		200	200

Waldo ©DreamWorks Distribution Limited. All rights reserved. Imagery ©2018 Google. Map data ©2018 Google. United States Terms Send feedback



Forbes Dr

Paradise Valley Rd

RRR Dr

Cleveland

Town Creek Rd

+83.867119, 34.617372

166

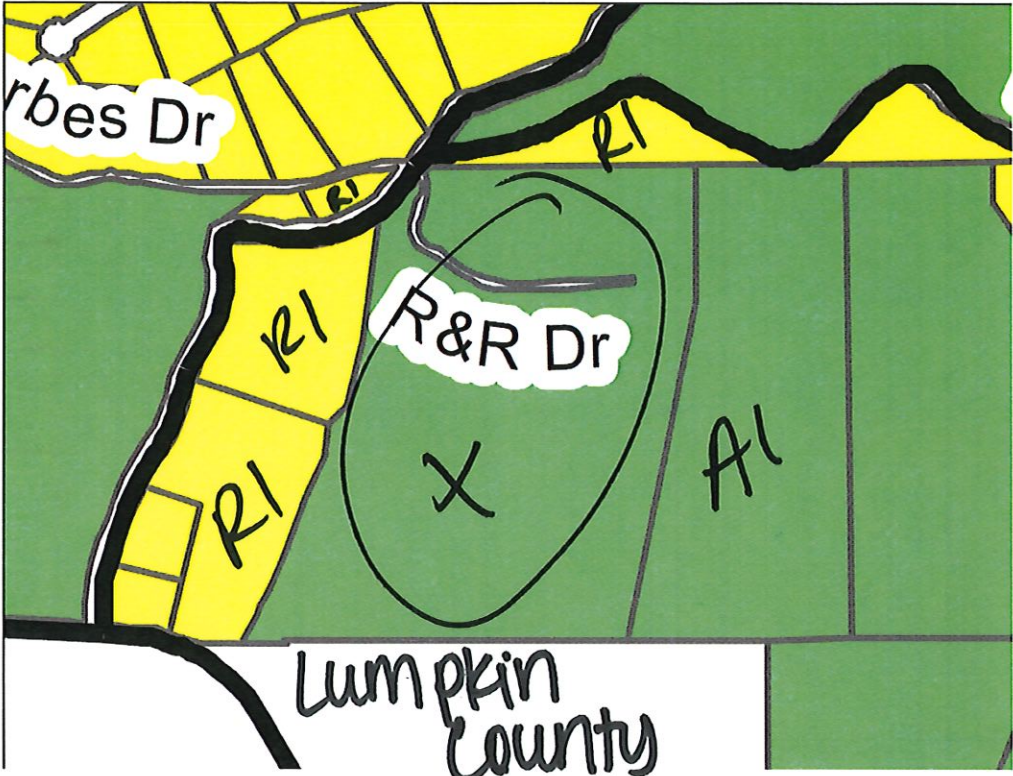
230

38

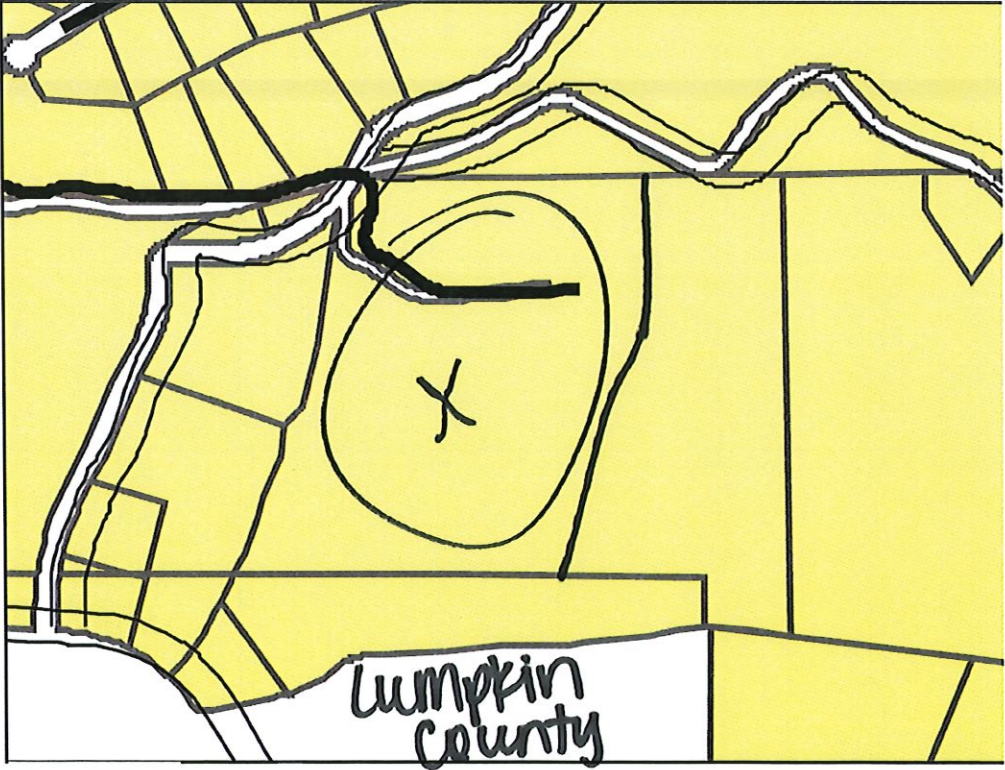
3517

439

Existing Land Use Map



Future Land Use Map



WHITE COUNTY PLANNING DEPARTMENT

STAFF COMMENT

Verizon Wireless 6.23.2020

- Property is located at 99 R&R Drive Cleveland. It is in the A-1 District and will require a conditional use permit from the White County Board of Commissioners to add a new tower.
- Property adjoins to the East A-1 Agriculture Forestry District; to the West and North R-1 Residential Single-Family District; to the South is Lumpkin County.
- The White County Comprehensive Plan Future Land Use Map indicates Single Family Residential.
- Total acreage is 23.13.
- Property is supplied by well and septic.

White County Change of Land Use District Application

Application Requirements/Applicant Checklist

1. Pre-Application Meeting with Planning Staff
2. Completed Application to include:
 - Property Owner Authorization (if acting agent)
 - Adjoining Property Owner information (found on Tax Assessor's website)
 - Notice of Residential Agriculture Adjacency (if applicable)
3. Letter of Intent
4. Letter from Environmental Health Department for review of well and septic; and, or from the White County Water Authority for public water, or from City of Cleveland, City of Helen for review of public water and waste water; or from Georgia EPD for private waste water
5. Recorded Plat of the property (Clerk of Court)
6. Site plan drawn to scale of any proposed structures and utilities (Commercial land use changes require additional information – please see insert)
7. Paid tax receipt for most current year (Tax Commissioner's Office)
8. Aerial location map of subject property (White County GIS or other – i.e. Google Maps)
9. Short Term Rentals Section 702 & 703 / Business Licenses or Rental Company

This application packet contains all of the information required to submit a change in a land use category. If after reviewing this, you have questions, please contact the Planning Department at (706) 865-6768.

To avoid unnecessary delays, please be sure the application is complete.

It is the applicant's responsibility to attend the Public Hearings and be able to answer any questions regarding the request. If you are uncomfortable in this role, you may want to seek the assistance of a legal representative or consulting professional.

Failure to appear at meetings constitutes abandonment and dismissal of the cases, unless the applicant shows just cause by reason of illness/health issues or other emergency within a reasonable time, in writing, and accompanied by new costs for re-advertisement and hearing.

White County Planning and Community Development
Pre-Development Checklist

Date 11/26/2014
~~006-006A~~

Developers/Owners Name Mike Rohmer Phone [REDACTED]

Project Name DAMASCUS CTR RD (KIERSTEN LUKER)

Location (Directions if necessary) 99 R+R DR

Map Parcel 006-006A Staff Member Initials _____

THIS INITIALED FORM MUST ACCOMPANY PLAN SUBMITTALS

Preliminary Sketch/Plan Presented Yes No

Resolutions Discussed:
Land Disturbance RV Park Mobile Home Park
Subdivision Rental Cabins Commercial

Land Use Change Required Yes No COND U.

Part V Criteria:
Mountain Protection Groundwater Recharge
Watershed River Corridor Wetlands

TMDL Yes No

Notes: Disc L U Process

#16919

Mercedes Dodd

From: Kiersten Lurer <KLurer@pmass.com>
Sent: Wednesday, August 5, 2020 8:47 AM
To: Mercedes Dodd
Subject: Re: White County Board of Commissioners Meeting 8.24.2020 | Land Use Application

Good morning Mercedes. Yes, I hereby confirm I will be present at the 8/24 BOC hearing to represent our Land Use application.

Kiersten Lurer
404.664.2718

On Aug 5, 2020, at 8:40 AM, Mercedes Dodd <mDodd@whitecounty.net> wrote:

Hello,

The White County Board of Commissioners will hold a combined Work Session and Voting Meeting on Monday, August 24th at 4:30pm at 1235 Helen Hwy, Cleveland, GA, 30528. Since you have a land use application on the agenda, your presence or that of a representative is required. Please respond back with confirmation of your attendance, thank you.

Thank you,

Mercedes Dodd

Planning Technician
White County Planning Department
1241 Helen Hwy, Suite 200
Cleveland, GA, 30528
706-865-6768
mdodd@whitecounty.net



WHITE COUNTY BOARD OF COMMISSIONERS

1235 Helen Hwy Cleveland, GA 30528

Travis C. Turner, Chairman • Terry D. Goodger, District 1 • Lyn Holcomb, District 2 • Edwin Nix, District 3 • Craig Bryant, District 4

September 10th, 2020

Verizon Wireless
1000 Holcomb Woods Pkwy, Suite 210
Roswell, GA, 30076

Dear Verizon Wireless,

On Monday, August 24th, 2020, the White County Board of Commissioners approved your application for a Conditional Use Permit for a communications tower for the property located at 99 R&R Drive, Cleveland, GA, 30528.

This letter will serve as your official notification that you are now zoned correctly to install a new communications tower at 99 R&R Drive, in accordance with White County Code, Appendix C, Article IX, Section 902.

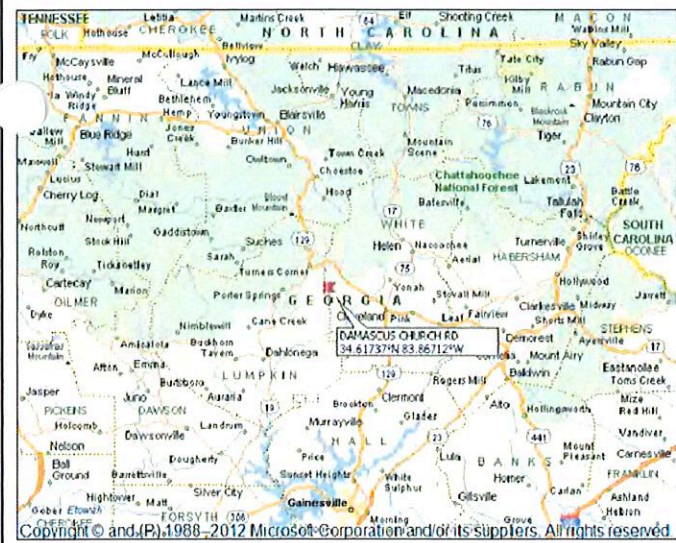
Please let me know if there is anything else we can do to assist you.

Sincerely,

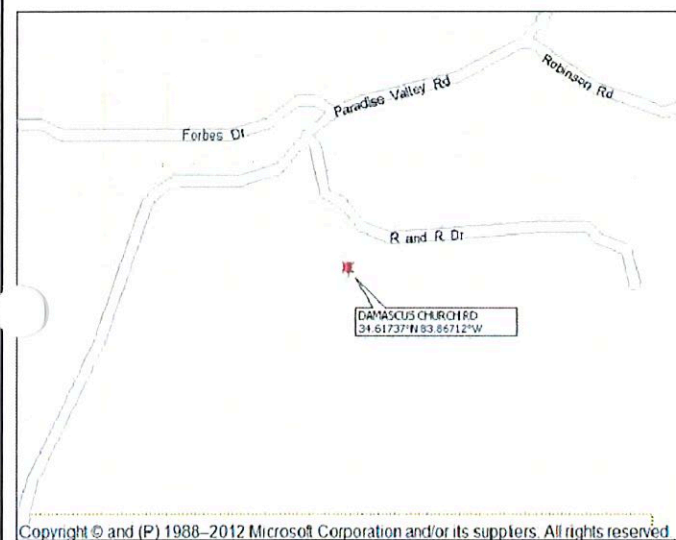
John Sell

White County Director of Community and Economic Development

LOCATION MAP



VICINITY MAP



BUILDING CODES

ALL CONSTRUCTION SPECIFIED ON DOCUMENTS SUBMITTED FOR BUILDING PERMIT SHALL COMPLY WITH THE REQUIREMENTS OF THE FOLLOWING:

- MANDATORY CODES AS ADOPTED BY DCA:**
- INTERNATIONAL BUILDING CODE, 2012 EDITION, WITH GEORGIA AMENDMENTS (2014) (2015) (2017) (2018)
 - INTERNATIONAL RESIDENTIAL CODE, 2012 EDITION, WITH GEORGIA AMENDMENTS (2014) (2015)
 - INTERNATIONAL FIRE CODE, 2012 EDITION, WITH GEORGIA AMENDMENTS (2014)
 - INTERNATIONAL PLUMBING CODE, 2012 EDITION, WITH GEORGIA AMENDMENTS (2014) (2015)
 - INTERNATIONAL MECHANICAL CODE, 2012 EDITION, WITH GEORGIA AMENDMENTS (2014) (2015)
 - INTERNATIONAL FUEL GAS CODE, 2012 EDITION, WITH GEORGIA AMENDMENTS (2014) (2015)
 - NFPA NATIONAL ELECTRICAL CODE, 2017 EDITION (NO GEORGIA AMENDMENTS)
 - INTERNATIONAL ENERGY CONSERVATION CODE, 2009 EDITION, WITH GEORGIA SUPPLEMENTS AND AMENDMENTS (2011) (2012)

- ADDITIONAL APPLICABLE CODES:**
- STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES - TIA/EIA-222-G

DEPARTMENT	NAME / SIGNATURE	DATE
LAND OWNER / TOWER OWNER		
SITE ACQUISITION AGENT		
ZONING / PERMITTING AGENT		
A&E MANAGER		
CONSTRUCTION MANAGER		
RF ENGINEER		

SITE NAME:

DAMASCUS CHURCH RD

LOCATION CODE:

500307

PROJECT TYPE:

RAWLAND NSB PROPOSED 185' MONOPOLE TOWER

PREPARED FOR:



PREPARED BY:



1000 HOLCOMB WOODS PKWY.
SUITE 210
ROSWELL, GA 30076
678-280-2325

PROJECT INFORMATION

SITE ADDRESS: PARADISE VALLEY ROAD
CLEVELAND, GA 30528

LATITUDE: 34° 37' 02.54" (NAD 83)
LONGITUDE: -83° 52' 01.63" (NAD 83)
ELEVATION: 1703.4' AMSL (NAVD 88)

ZONING JURISDICTION: WHITE COUNTY
ZONING CLASSIFICATION: A1 - AGRICULTURE FORESTRY DISTRICT

PARCEL ID: 006 006A

PROPERTY OWNER: MICHAEL H. ROBINSON &
KIMBERLY J. ROBINSON
99 R AND R DR
CLEVELAND, GA 30528
706-939-1284

APPLICANT: VERIZON WIRELESS
10300 OLD ALABAMA ROAD CONN.
ALPHARETTA, GA 30022

ENGINEER: P. MARSHALL & ASSOCIATES
1000 HOLCOMB WOODS PKWY., STE. 210
ROSWELL, GA 30076
PATRICK MARSHALL, PE
678-280-2325

POWER: HABERSHAM EMC
POWER CONTACT #: 706-754-2114

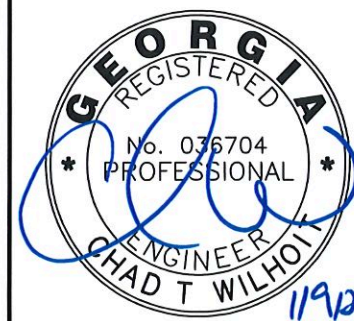
FIBER: FIBER COMPANY WILL BE AWARDED
BY VZW. CONSULT CM

DRAWING INDEX

- T-1 TITLE SHEET & PROJECT INFORMATION
- SURVEY
- C-1 GENERAL NOTES
- C-1A SITE SIGNAGE
- C-2 OVERALL SITE PLAN
- C-3 ENLARGED SITE PLAN
- C-4 TOWER ELEVATION & ANTENNA ORIENTATION
- C-5 GRADING & EROSION CONTROL PLAN
- C-6 GRADING & EROSION CONTROL NOTES
- C-7 GRADING & EROSION CONTROL DETAILS
- C-8 EQUIPMENT ELEVATION
- C-9 EQUIPMENT LAYOUT
- C-10 ICE BRIDGE DETAILS
- C-11 FENCE DETAILS
- C-12 EQUIPMENT PAD FOUNDATION DETAILS
- L-1 LANDSCAPE PLAN
- E-1 GENERAL ELECTRICAL & GROUNDING NOTES
- E-2 ELECTRICAL & GROUNDING SITE PLAN
- E-3 DETAILED GROUNDING SITE PLAN
- E-4 ELECTRICAL RISER & ONE-LINE DIAGRAM
- E-5 GROUNDING DETAILS
- E-6 UTILITY H-FRAME DETAILS



CALL BEFORE YOU DIG
GEORGIA ONE-CALL
811 or 1-800-282-7411
<http://www.georgia811.com/>



DAMASCUS CHURCH RD.

PARADISE VALLEY ROAD
CLEVELAND, GA 30528

LOCATION CODE:
500307

NO.	DATE	DESCRIPTION:
0	1/7/19	PRELIM ISSUE
1	1/14/19	CONSTRUCTION & PERMIT ISSUE
2	3/26/19	REVISED PER COMMENTS
3	1/9/2020	ADDED LANDSCAPE BUFFER

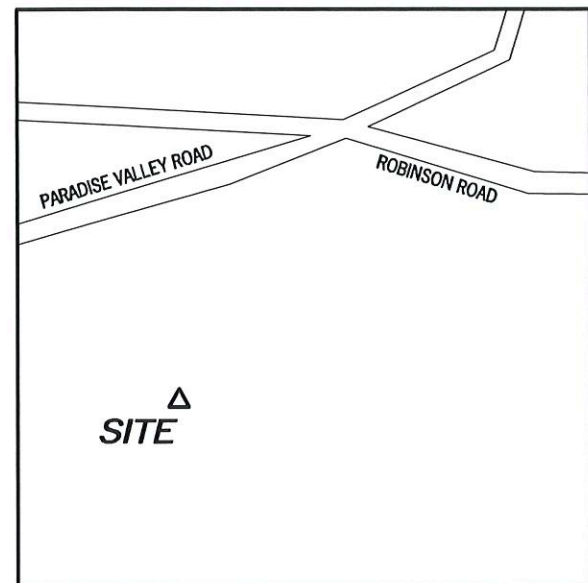
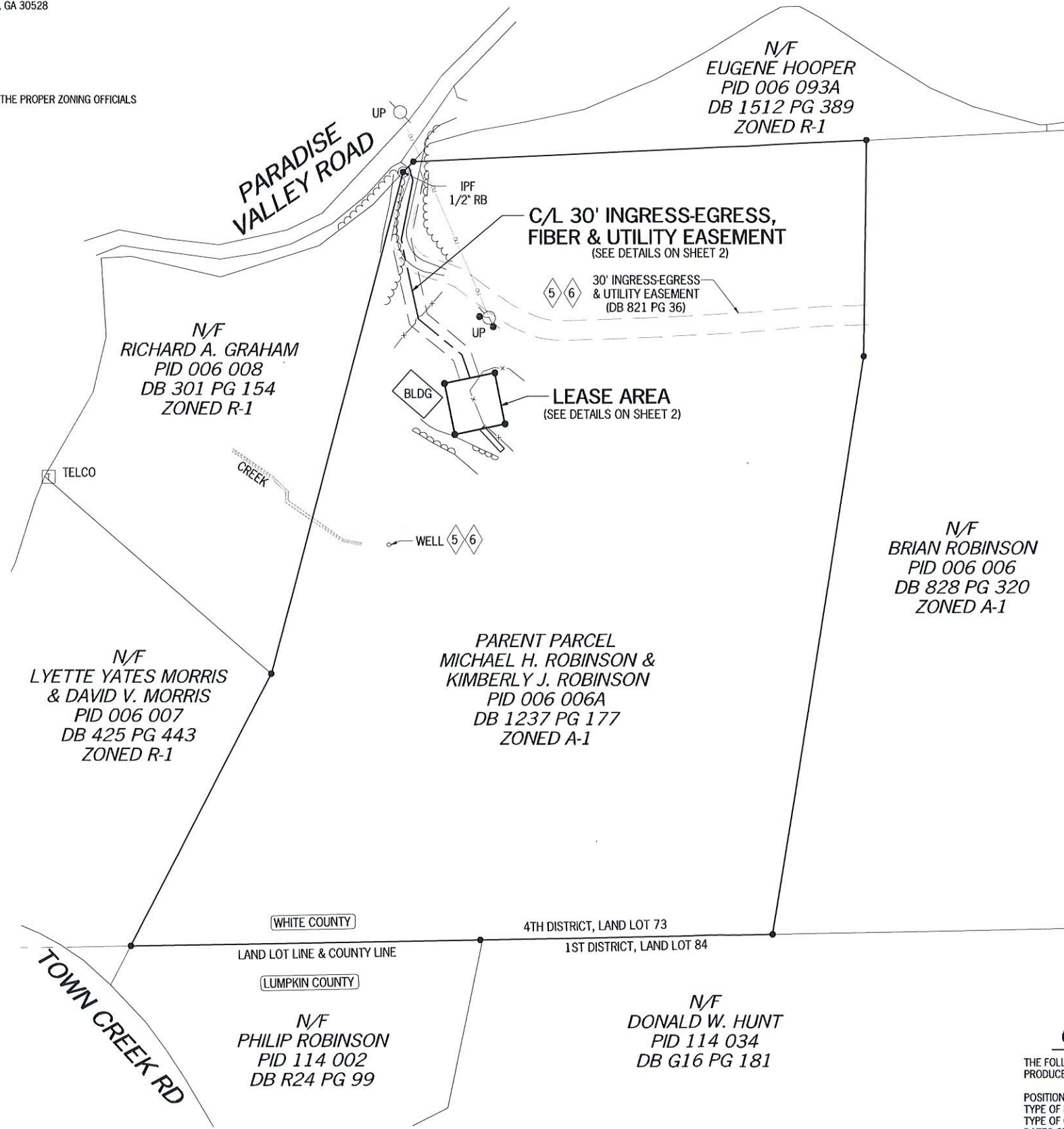
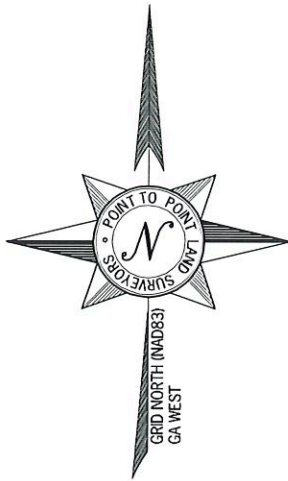
DESIGNED: DA	JOB #:
DRAWN: DA	VW18-067
CHECKED: PWM	

TITLE SHEET & PROJECT INFORMATION

T-1

SUBJECT PROPERTY

OWNER: MICHAEL H. ROBINSON & KIMBERLY J. ROBINSON
 SITE ADDRESS: PARADISE VALLEY ROAD, CLEVELAND, GA 30528
 PARCEL ID: 006 006A
 AREA: 23.13 (PER TAX ASSESSOR) ACRES
 ZONED: A-1 (AGRICULTURE FORESTRY DISTRICT)
 ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS
 REFERENCE: DEED BOOK 1237 PAGE 177
 PLAT BOOK 54 PAGE 24



VICINITY MAP
NOT TO SCALE

GENERAL NOTES

THIS EXHIBIT SURVEY IS FOR THE LEASED PREMISES AND EASEMENTS ONLY. THIS EXHIBIT SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF VERIZON WIRELESS AND EXCLUSIVELY FOR THE TRANSFERRAL OF THE PROPOSED LEASED PREMISES AND THE RIGHTS OF EASEMENT SHOWN HEREON AND SHALL NOT BE USED AS AN EXHIBIT OR EVIDENCE IN THE FEE SIMPLE TRANSFERRAL OF THE PARENT PARCEL NOR ANY PORTION OR PORTIONS THEREOF. BOUNDARY INFORMATION SHOWN HEREON HAS BEEN COMPILED FROM TAX MAPS AND DEED DESCRIPTIONS ONLY. NO BOUNDARY SURVEY OF THE PARENT PARCEL WAS PERFORMED.

THIS DRAWING DOES NOT REPRESENT A BOUNDARY SURVEY.

THE FIELD DATA UPON WHICH THIS EXHIBIT SURVEY IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 20,000+ FEET AND AN ANGULAR ERROR OF 5.0" PER ANGLE POINT AND WAS ADJUSTED USING LEAST SQUARES.

EQUIPMENT USED FOR ANGULAR & LINEAR MEASUREMENTS: LEICA TPS 1200 ROBOTIC & GEOMAX ZENITH 35. (DATE OF LAST FIELD VISIT: 10-03-2018)

THE 1' CONTOURS AND SPOT ELEVATIONS SHOWN ON THIS EXHIBIT SURVEY ARE ADJUSTED TO NAVD 88 DATUM (COMPUTED USING GEOID 12B) AND HAVE A VERTICAL ACCURACY OF ± 0.5'. CONTOURS OUTSIDE THE IMMEDIATE SITE AREA ARE APPROXIMATE.

BEARINGS SHOWN ON THIS EXHIBIT SURVEY ARE BASED ON GRID NORTH (NAD 83) GA WEST.

NO PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD AREA AS PER F.I.R.M. COMMUNITY PANEL NO. 13311C0180D DATED 01/05/2018.

NO WETLAND AREAS HAVE BEEN INVESTIGATED BY THIS EXHIBIT SURVEY.

ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS.

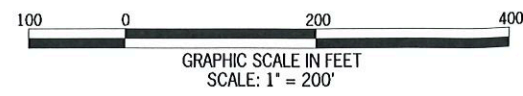
ANY UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEES THAT ANY UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT ANY UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED ANY UNDERGROUND UTILITIES.

CERTIFICATE OF AUTHORIZATION: LSF000843

GPS NOTES

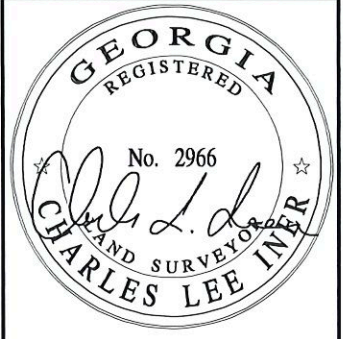
THE FOLLOWING GPS STATISTICS UPON WHICH THIS SURVEY IS BASED HAVE BEEN PRODUCED AT THE 95% CONFIDENCE LEVEL:

POSITIONAL ACCURACY: 0.05 FEET (HORZ) 0.09 FEET (VERT)
 TYPE OF EQUIPMENT: GEOMAX ZENITH35 PRO BASE AND ROVER, DUAL FREQUENCY
 TYPE OF GPS FIELD PROCEDURE: ONLINE POSITION USER INTERFACE
 DATES OF SURVEY: 10-03-2018
 DATUM / EPOCH: NAD_83(2011)EPOCH:2010.0000
 PUBLISHED / FIXED CONTROL USE: DL1890, DM7831, DG4257
 GEOID MODEL: 12B
 COMBINED GRID FACTOR(S): 0.99983236 CENTERED ON THE GPS BASE POINT AS SHOWN HEREON.
 CONVERGENCE ANGLE: 00°10'12.31"



LEGEND

POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
IPS	IRON PIN SET
IPF	IRON PIN FOUND
CMF	CONCRETE MONUMENT FOUND
UP	UTILITY POLE
EP	EDGE OF PAVEMENT
OU	OVERHEAD UTILITY
GW	CLAY WIRE ANCHOR
TR	TRANSFORMER
WV	WATER VALVE
N/F	NOW OR FORMERLY
TS	TOP OF SLOPE
BS	BOTTOM OF SLOPE
TM	TEMPORARY REFERENCE MARK



NO.	DATE	REVISION
1	11/29/2018	ADDED TITLE - NRW
2	1/14/2019	REV. ING/EGR NAME

EXHIBIT SURVEY PREPARED BY:
POINT TO POINT LAND SURVEYORS
 1010 Pennsylvania Avenue
 McDonough, GA 30253
 (p) 678.565.4440
 (f) 678.565.4497
 (w) pointtopointsurvey.com

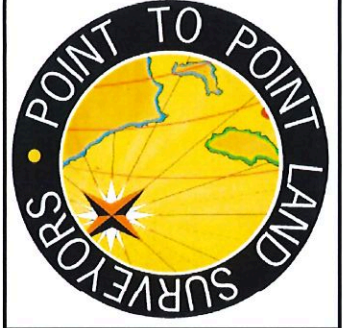


EXHIBIT SURVEY PREPARED FOR:



DAMASCUS CHURCH ROAD

LAND LOT 73, 4TH DISTRICT
 WHITE COUNTY, GEORGIA

DRAWN BY: AGK
 CHECKED BY: JKL
 APPROVED: C. INER
 DATE: 10/08/2018

SHEET:
1

(SURVEY NOT VALID WITHOUT SHEET 2 OF 2)

X:\dropbox (Point To Point)\P2P Current Jobs\2018\183787GA-Damascus Church Road\183787GA.pro

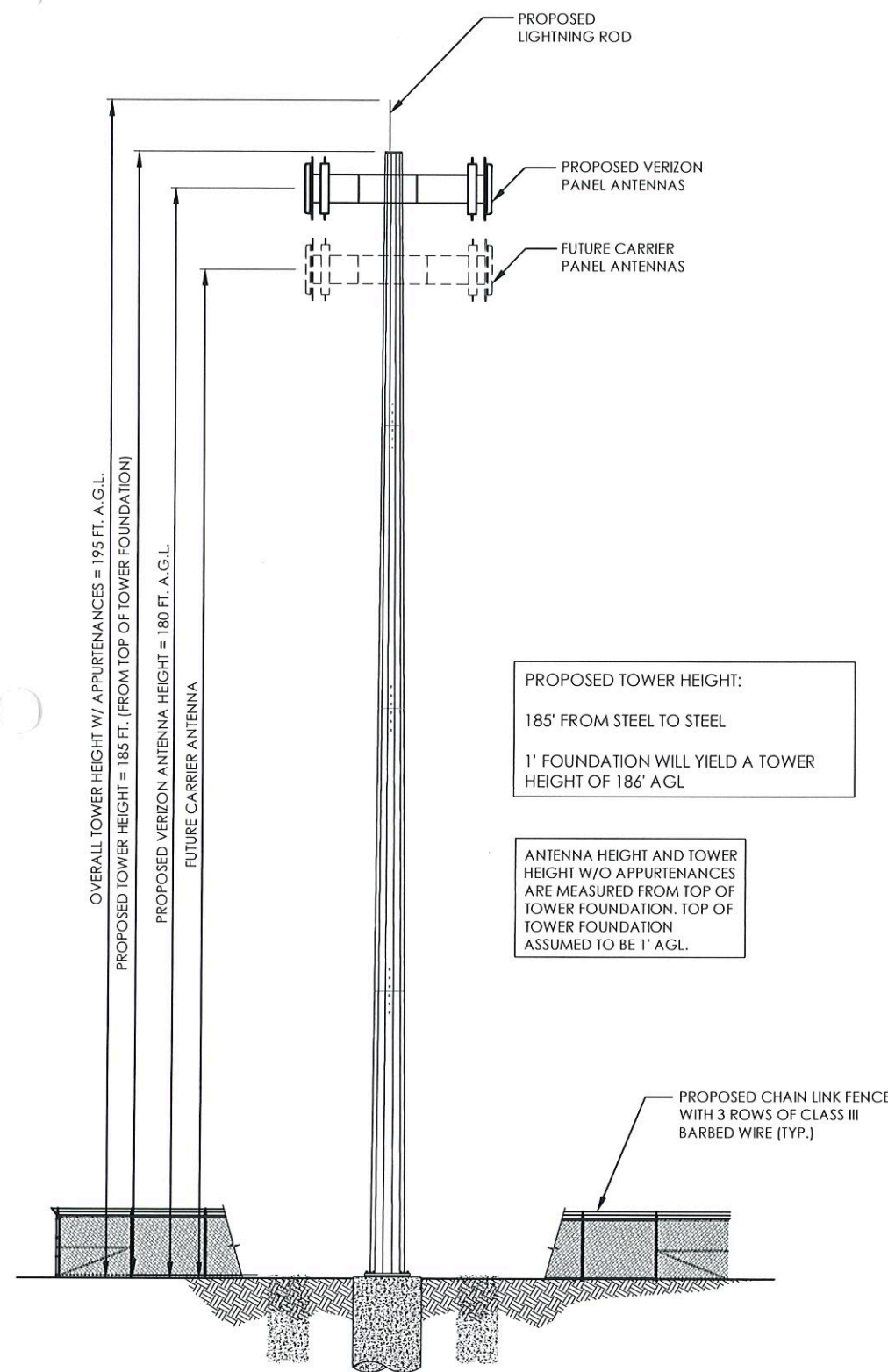
NO.	DATE	DESCRIPTION:
0	1/7/19	PRELIM ISSUE
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2	3/26/19	REVISED PER COMMENTS
3	1/9/2020	ADDED LANDSCAPE BUFFER

DESIGNED:	DA	JOB #:	
DRAWN:	DA		VW18-067
CHECKED:	PWM		

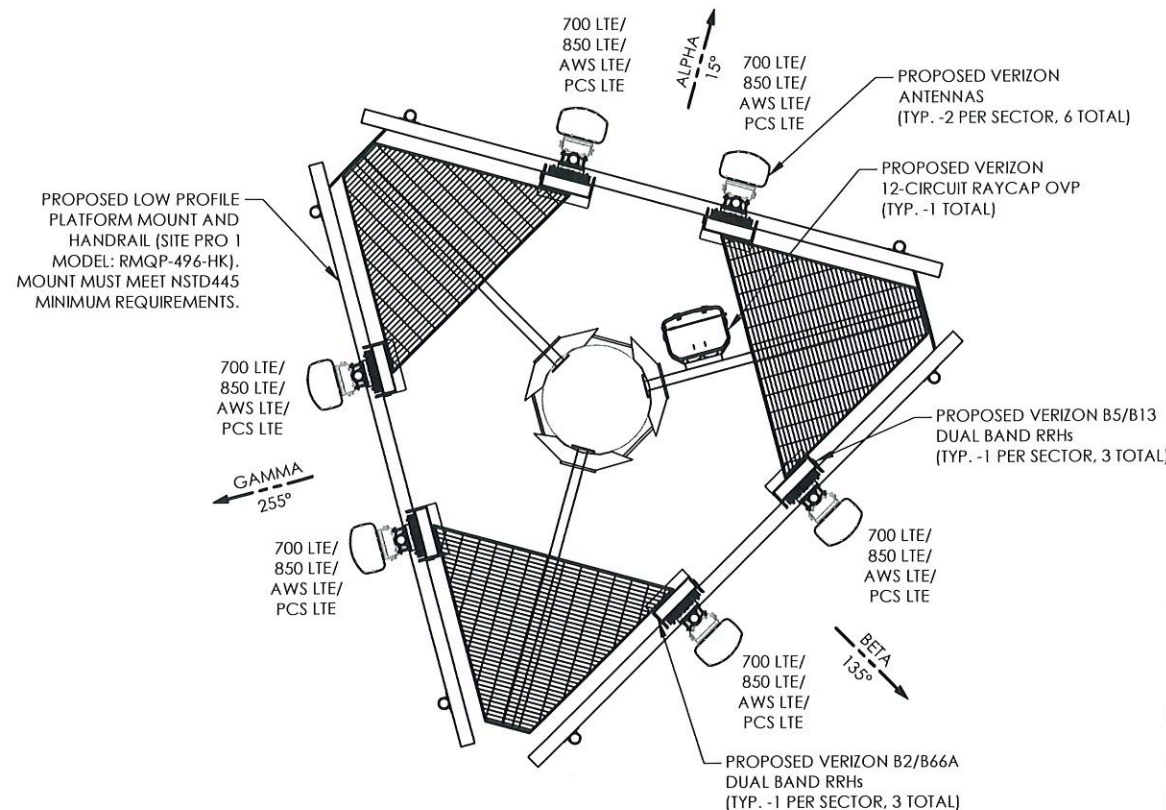
TOWER ELEVATION & ANTENNA ORIENTATION

FINAL ANTENNA & CABLE CONFIGURATION

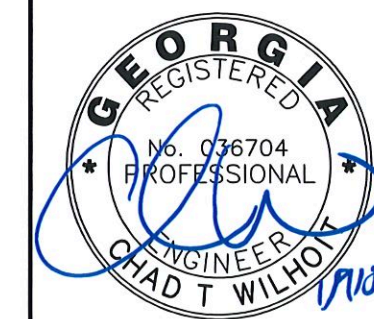
RAD CENTER	SECTOR	AZIMUTH (DEGREES)	QUANTITY	AWS LTE (2100 MHZ) ANTENNAS	MECHANICAL DOWNTILT	HYBRID CABLE SIZE & QUANT.	HYBRID JUMPER SIZE & QUANT.	OVP MODEL & QUANT.	RRH MODEL & QUANT.	DIPLEXER / TMA MODEL & QUANT.
185'	1	15	SHARED	SHARED W/ 700 LTE / 850 LTE / PCS LTE	0	PROPOSED (1) 6X12 HYBRID DC / FIBER CABLE (HFT1206-24S49-XXX)	PROPOSED (3) PCS/AWS HYBRID JUMPERS (HFT410-4SVHY-XX)	PROPOSED (1) RAYCAP RVZDC-6627-PF-48 12-CIRCUIT OVP	PROPOSED (3) ERICSSON RADIO 4449 (B5/B13)	
	2	135	SHARED	SHARED W/ 700 LTE / 850 LTE / PCS LTE	0					
	3	255	SHARED	SHARED W/ 700 LTE / 850 LTE / PCS LTE	0					
185'	1	15	SHARED	850 LTE (850 MHZ) ANTENNAS	0					
	2	135	SHARED	SHARED W/ 700 LTE / AWS LTE / PCS LTE	0					
	3	255	SHARED	SHARED W/ 700 LTE / AWS LTE / PCS LTE	0					
185'	1	15	2	PROPOSED QUINTEL USA INC QS8656-5	0					
	2	135	2	PROPOSED QUINTEL USA INC QS8656-5	0					
	3	255	2	PROPOSED QUINTEL USA INC QS8656-5	0					
185'	1	15	SHARED	PCS LTE (1900 MHZ) ANTENNAS	0					
	2	135	SHARED	SHARED W/ 700 LTE / AWS LTE / 850 LTE	0					
	3	255	SHARED	SHARED W/ 700 LTE / AWS LTE / 850 LTE	0					



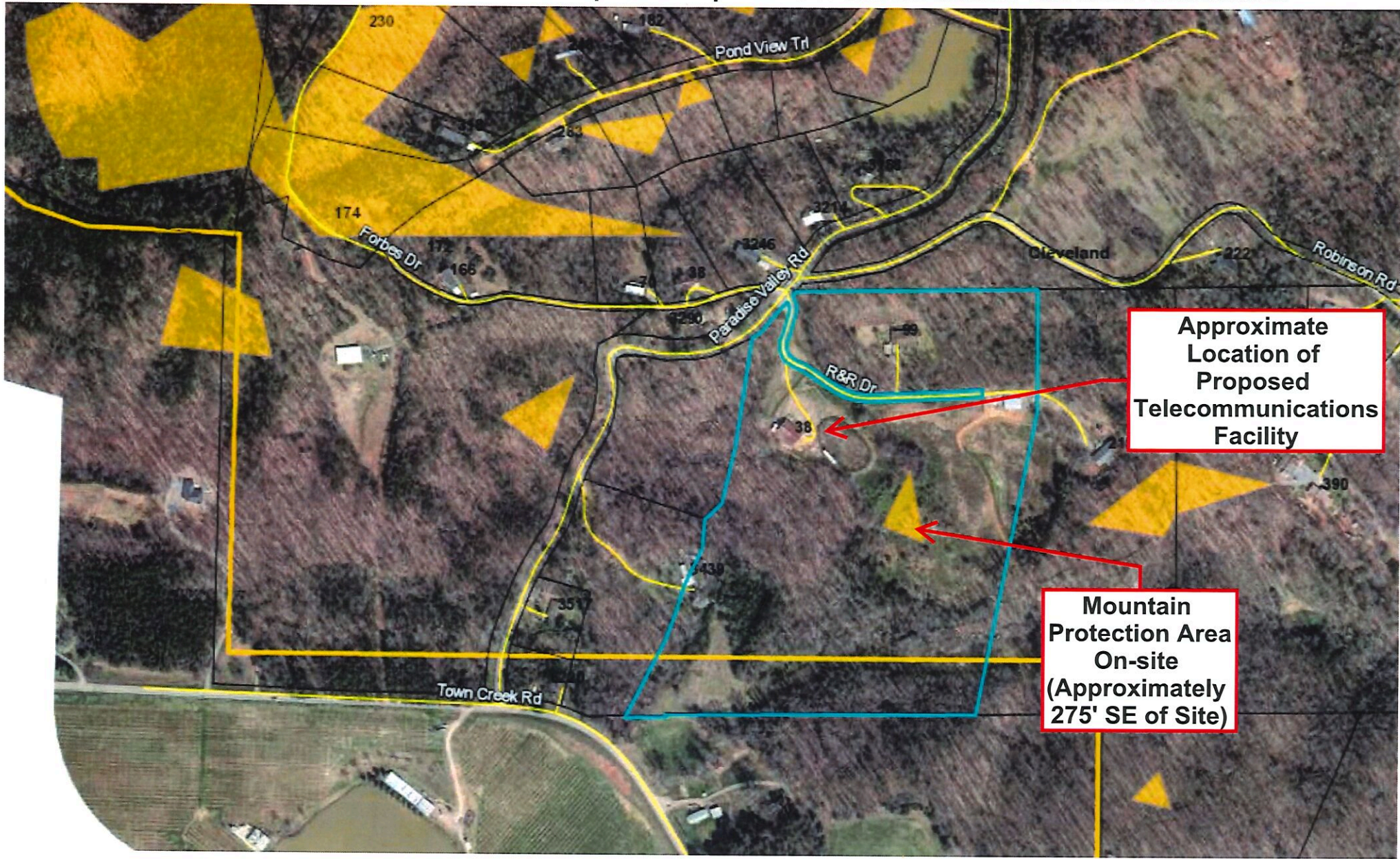
TOWER ELEVATION
NTS



ANTENNA ORIENTATION
NTS



Damascus Church Road - Aerial Parcel Map with Proposed Site and Mountain Protection Area Marked



LAND USE NOTICE

AN APPLICATION HAS BEEN FILED WITH WHITE COUNTY IN REGARD TO THE LAND USE REGULATIONS AS THEY APPLY TO THIS PROPERTY

APPLICANT: Kristen Luror / Verizon Wireless	99 R&R Drive Cleveland, GA, 30528	Map and parcel 006-006A	Total acreage 23.13
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REQUEST:

A conditional use permit. Proposed use is to add a new tower. Present use is A-1 Agriculture Forestry District.

PLANNING COMMISSION
Date: June 29th, 2020
Time: 6:00pm

THE MEETING
WILL
BE HELD ON:

WHITE COUNTY COMMISSION
Date: _____
Time: _____
WHITE COUNTY ADMINISTRATOR BLDG.

WHITE COUNTY SENIOR CENTER

FOR MORE INFORMATION CALL: (706) 865-6768

WHITE COUNTY BOARD OF COMMISSIONERS

MINUTES OF THE COMBINED WORK SESSION & REGULAR MEETING HELD

MONDAY, AUGUST 24, 2020 AT 4:30 P.M.

The White County Board of Commissioners held a combined Work Session and Regular Meeting on Monday, August 24, 2020 at 4:30 p.m. in the Board Room at the White County Administration Building. Present for the meeting were; Chairman Travis Turner, Commissioner Terry Goodger, Commissioner Lyn Holcomb, Commissioner Edwin Nix, Commissioner Craig Bryant, County Manager Jason Cobb, Finance Director Jodi Ligon, and County Clerk Shanda Murphy.

Chairman Turner called the meeting to order.

Following the Pledge of Allegiance, Mr. Dean Dyer provided the invocation.

Upon a motion made by Commissioner Bryant, seconded by Commissioner Nix there was a unanimous vote to adopt the minutes of the Public Hearing & Regular Meeting held August 3, 2020 and the Called Meeting (including Executive Session minutes) held August 20, 2020.

Ms. Cheyenne Thornton, Coordinator of White County Family Connection, presented an overview of the agency's services in White County.

Mr. John Sell, Director of Community & Economic Development, presented the land use application filed by Verizon Wireless – represented by Kiersten Lurer – to request a conditional use permit at 99 R&R Drive Cleveland, GA 30528 on tax map / parcel 006-006A and total acreage being 23.13. The proposed use WAS the addition of a new telecommunications tower. The present use is A-1, Agriculture Forestry District. Mr. Sell stated that the Planning Commission had held a Public Hearing on the application – at which there was not opposition – and the Planning Commission had unanimously recommended approval of the application. Ms. Lurer explained this would be a 185' monopole tower providing 4G LTE coverage. She noted that the project well exceeded all required setbacks. Chairman Turner asked for anyone in support or opposition to of the application. Although no one appeared to be in attendance specifically related to this application, there was a consensus in the room that many attendees supported improved internet / cell phone coverage for the area.

Upon a motion made by Commissioner Nix, seconded by Commissioner Holcomb there was a unanimous vote to approve the land use application filed by Verizon Wireless to request a conditional use permit at 99 R&R Drive Cleveland, GA 30528 on tax map / parcel 006-006A – with the approved use being the addition of a new telecommunications tower. The present use is A-1, Agriculture Forestry District.

Mr. Sell presented a land use application filed by William Cull to request a conditional use permit at 50 Snowdrift Place Cleveland, GA 30528 – on tax map / parcel 030D-018 – being 1.65 acres. The proposed use was to place in a short term rental program in the present use of R-1, Residential Single Family District. He stated that the Planning Commission had held a Public Hearing on the application – at which there was no opposition – and had unanimously recommended approval of the application. He explained that there is no Homeowner's Association (HOA) affiliated with the property, therefore Mr. Cull was required to obtain letters

of support from at least 50% + 1 of his neighboring property owners. He noted that Mr. Cull needed 13 letters of support and he submitted 17 letters of support. Mr. Cull stated that he lived in between his two (2) short term rental properties. He stated that he had been renting these properties for a few years; however when he became aware that he was not in compliance he immediately began the process to correct this back in February 2020. Chairman Turner asked for anyone in support or opposition to the application – there were neither.

Upon a motion made by Commissioner Bryant, seconded by Commissioner Nix there was a unanimous vote to approve the land use application filed by William Cull to request a conditional use permit at 50 Snowdrift Place Cleveland, GA 30528 – on tax map / parcel 030D-018 – being 1.65 acres with an approved use to place in a short term rental program in the present R-1, Single Family Residential District.

Mr. Sell presented a land use application filed by William Cull to request a conditional use permit at 107 Farmette Drive Cleveland, GA 30528 – on tax map / parcel 030-052 – being 2.67 acres. The proposed use is to place in a short term rental program in the present use of R-1, Residential Single Family District. He stated that the Planning Commission had held a Public Hearing on the application – at which there was no opposition – and had unanimously recommended approval of the application. He explained that there is no Homeowner’s Association (HOA) affiliated with the property, therefore Mr. Cull was required to obtain letters of support from at least 50% + 1 of his neighboring property owners. He noted that Mr. Cull needed 13 letters of support and he submitted 17 letters of support. Mr. Cull stated that he lived in between his two (2) short term rental properties. He stated that he had been renting these properties for a few years; however when he became aware that he was not in compliance he immediately began the process to correct this back in February 2020. Chairman Turner asked for anyone in support or opposition to the application – there were neither.

Upon a motion made by Commissioner Bryant, seconded by Commissioner Holcomb there was a unanimous vote to approve the land use application filed by William Cull to request a conditional use permit at 107 Farmette Drive Cleveland, GA 30528 – on tax map / parcel 030-052 – being 2.67 acres with an approved use to place in a short term rental program in the present R-1, Single Family Residential District.

Mr. Jason Cobb presented a quote in the amount of \$94,582.54 from ACG Solutions for improvements to the security camera system at the following county facilities – Administration Building, Animal Control Facility, Courthouse, Freedom Park, Mauney Building, Recreation Department, Senior Center, and Yonah Preserve Trailhead. He explained that although most all these facilities already had security cameras – these were mostly over 10 years old and ran on various different platforms; however this project would put all the cameras on the same platform and update the entire system with more advanced capabilities.

Upon a motion made by Commissioner Goodger, seconded by Commissioner Bryant there was a unanimous vote to approve the quote in the amount of \$94,582.54 from ACG Solutions for improvements to the security camera system at the following county facilities – Administration Building, Animal Control Facility, Courthouse, Freedom Park, Mauney Building, Recreation Department, Senior Center, and Yonah Preserve Trailhead – to be funded from SPLOST.

Ms. Jodi Ligon, Finance Director, presented the monthly financial status report (see attached).

August 24, 2020 – Work Session & Regular Meeting Minutes (continued)

Chairman Turner stated that the Board had discussed redesigning the entrance and parking area at the White County Senior Center several years ago – including the addition of steps between the Mauney Building parking area and the Administration Building parking area. There was a consensus that the Board wanted to move forward with this project.

Chairman Turner also stated that staff needed to ensure that driveway aprons on all the upcoming county paving projects were completed in an appropriate way – Mr. Cobb stated that he would relay this to Mr. Cangemi, Director of Public Works.

During County Manager Comments, Mr. Cobb advised that all approved paving projects were still on schedule to be completed by the end of October – dependent upon the weather.

Chairman Turner opened the floor for public participation – there were no public comments.

Upon a motion made by Commissioner Nix, seconded by Commissioner Holcomb there was a unanimous vote to adjourn the meeting.

The minutes of the August 24, 2020 combined Work Session and Regular Meeting are approved as stated this 5th day of October, 2020.

WHITE COUNTY BOARD OF COMMISSIONERS

s/Travis C. Turner

Travis C. Turner, Chairman

s/Terry D. Goodger

Terry D. Goodger, District 1

s/Lyn Holcomb

Lyn Holcomb, District 2

s/Edwin Nix

Edwin Nix, District 3

s/ Craig Bryant

Craig Bryant, District 4

s/Shanda Murphy

Shanda Murphy, County Clerk

White County Planning Commission
Public Hearing: White County Land Use Regulation Agenda

MINUTES

Monday, June 29th, 2020

6:00 pm

White County Senior Center

1239 Helen Hwy, Cleveland, Ga. 30528

Those present were Larry Freeman, R.K. Ackerman, Dona K. Burke, Charlie Thomas, Brad Ash, and John Yarbrough.

Staff: Harry Barton, John Sell, and Mercedes Dodd

- I. Call to Order: Chairman Thomas called the meeting to order.
- II. Invocation: Mr. Yarbrough gave the invocation.
- III. Review of Agenda: Chairman Thomas asked if there were any changes to the agenda. Chairman Thomas said there were no changes to the agenda. Chairman Thomas opened the public hearing.
- IV. Land Use
 - i. **Application of Joshua Wells** to request a conditional use permit at 156 Bear Mountain Trail, Helen, Georgia, 30545. Tax map and parcel 042B-027. Total acreage 3.01. Proposed use is to place in "Short Term Rental" program. Present use is R-1 Residential Single-Family District. The landowner, Joshua Wells of 156 Bear Mountain Trail, was present. Mr. Barton gave a summary of the application. Mr. Barton asked Mr. Wells if the property is in a subdivision and if it has covenants; Mr. Wells explained that the property is in a subdivision but the covenants were expired. Mr. Wells stated that the property will be an AirBnB and that he and his wife purchased it last year. He said it has a fully furnished and accessible basement that will be rented 8-12 weekends a year, typically around Octoberfest. Chairman Thomas asked what subdivision it is part of; Mr. Wells said Wilderland Trail. Chairman Thomas asked if the house has been on the rental program before; Mr. Wells said no. Chairman Thomas asked Mr. Wells if he will be going through a rental agency; Mr. Wells said they will manage it themselves through AirBnb or VRBO since they only plan to rent it a few times a year. He explained that they plan to be picky on who they rent to due to where the property is. Mr. Ackerman asked Mr. Wells if he received letters; Mr. Wells said yes, they got letters from all but two. Mr. Ash asked if there is a road agreement; Mr. Wells said not that he knows of. Mr. Yarbrough asked if there are other rentals near; Mr. Wells said yes, it is the second house in the subdivision.

Chairman Thomas asked if the board has any other questions; no response.
Chairman Thomas asked Mr. Wells if he add anything to add; he said no.
Chairman Thomas asked if there was any for or against; no response.
Chairman Thomas closed the hearing.

- ii. **Application of Verizon Wireless**, represented by Kiersten Lurer, to request a conditional use permit at 99 R&R Drive, Cleveland, GA, 30528. Tax map and parcel 006-006A. Total acreage is 23.13. Proposed use is to add a new tower. Present use is A-1 Agriculture Forestry District. The applicant, Kiersten Lurer of 1000 Holcomb Woods Parkway, Suite 210, in Roswell, Georgia, was present. Mr. Barton gave a summary of the application. Ms. Lurer stated that the tower is 185 feet with a 100 foot lightning rod, giving an overall height of 195 feet. She said the leased area is 100 feet by 100 feet and they are proposing to fence 45 feet by 50 feet to contain the tower. Ms. Lurer stated that it will be surrounded by a 10 foot landscape

White County Planning Commission
Public Hearing: White County Land Use Regulation Agenda

MINUTES

buffer and the tower is to exceed all setback requirements. Due to height and location of tower, Ms. Lurer said it will not require lighting. As far as traffic, she explained that once a month for about fifteen minutes, a tech will visit the site to check radios, so no addition of traffic or waste- only utilities used are electrical and a T-1 line. Ms. Lurer stated that this tower will provide emergency-911 coverage, regardless of chosen carrier.

Chairman Thomas asked if there are any structures within the fall zone of the tower; Ms. Lurer said there is nothing within that radius.

Mr. Ackerman asked to clarify that it is a new tower and it is collapsible; Ms. Lurer said it is new and it will collapse in three stages, so about half of the tower height is a good estimate to use. She said to picture a flag pole without the flag.

Mr. Ash asked if it is 5G; Ms. Lurer stated 4G, there are no plans for 5G at this time.

Mr. Ash asked how far the coverage would extend; Ms. Lurer provided a drawing to show coverage area. Mr. Barton stated that a binder has been provided with more extensive information for the board to review.

Chairman Thomas asked if there were any further questions from the board; no response.

Chairman Thomas asked Ms. Lurer if she had anything else to add; Ms. Lurer said no.

Chairman Thomas asked if there was any for or against.

William Porter of 121 Laura Lane in Cleveland took to the podium. Mr. Porter stated that anything that improves cell phone service here has his vote.

Chairman Thomas asked if there was any other for or against; no response.

Chairman Thomas asked Ms. Lurer if she had anything else to add; she said no.

Chairman Thomas closed the hearing.

- iii. **Application of Cleve McAfee** to redistrict property located at 4389 HWY 115 E, Cleveland, GA, 30528 from C-1 Community Commercial to C-2 Highway Business District with a conditional use for residences. Total acreage is 8.77. Tax map and parcel 076-056. Present use is C-1 Community Commercial.

The landowner, Cleve McAfee of 173 Gerrells Road in Cleveland, was present.

Mr. Barton gave a summary of the application. Mr. Barton explained that this will bring the existing structures to a conforming use.

Mr. McAfee stated that he has had this property since 2000. He stated that he had a man come in for a permit to do online auto sales out of one of his buildings and that is when he found out he was non-conforming. He said he did auto sales out of the property himself prior to 2015 and did not realize that things had changed. He said there are seven commercial buildings and two residential houses that he wants to be in compliance.

Chairman Thomas asked if there were any questions from the board; no response.

Chairman Thomas asked if there was any for or against; no response.

Chairman Thomas asked Mr. McAfee if he had anything else to add; he said no.

Chairman Thomas closed the hearing.

- iv. **Application of Wendy Moses** to request a conditional use permit at 164 Pine Ridge Drive, Helen, Georgia, 30545. Tax map and parcel 055D-101A. Total acreage is 1.00. Proposed use is to place in "Short Term Rental" program. Present use is R-1 Residential Single-Family District.

White County Planning Commission
Public Hearing: White County Land Use Regulation Agenda

MINUTES

Mr. Barton stated that Mrs. Moses's representative was in route and asked Chairman Thomas if he would consider moving her hearing to the end of the agenda. Chairman Thomas said that will be fine.

After completing the agenda and with the representative still not present, Chairman Thomas asked if the board wanted to close the hearing to proceed with the Work Session, and then reopen the hearing once the representative was present.

Motion made by Mrs. Burke to close the public hearing portion of the meeting; seconded by Mr. Ackerman. Motion was unanimous.

Motion was made by Mrs. Burke to reopen the hearing, seconded by Mr. Ackerman. Motion was unanimous.

Cyndi Fargo of 114 Miway Lane in Sautee Nacoochee was present to represent the landowner.

Mr. Barton gave a summary of the application.

Mrs. Fargo explained that Wendy Moses is her sister and Mrs. Moses wants to rent the property out to supplement the mortgage payments. Mrs. Fargo stated that Mrs. Moses and her family have stayed in the house for approximately three to four weeks per year for the last two years and rent it out on short term rental when they are not here. She said the long term intentions are to live in it after they retire, but renting it out as her children are growing up with hopes to have it pay for itself. Mrs. Burke asked they have been renting it on short term rental program; Mrs. Fargo stated yes, it is being rented through Vacasa.

Mrs. Burke asked how long they have owned it; Mrs. Fargo said two years, they lived in it for a month while getting it ready to rent and it has been rented out since.

Chairman Thomas asked to clarify that it has been rented ever since they owned it, aside from the first month; Mrs. Fargo said yes.

Chairman Thomas asked if it was through a rental company or if they managed it themselves; Mrs. Fargo said no, it was through Vacasa. She stated that the company manages it and pays the taxes.

Mrs. Burke asked if Mrs. Moses plans to rent it herself or go through another company once she gets this approved; Mrs. Fargo stated yes, she already filled out the paperwork and are already sending the taxes to White County.

Mr. Ackerman asked if there are other short term rentals in this neighborhood; Mrs. Fargo said yes, most of them are.

Mr. Freeman asked if this is grandfathered in; Mrs. Fargo stated that she is grandfathered in, the only reason she is doing this is so it can be sold easily and for her will and trust.

Chairman Thomas asked if there are any other questions from the board; no response.

Chairman Thomas asked if there was any for or against; no response.

Chairman Thomas asked if Mrs. Fargo had anything else to add; no response.

Chairman Thomas closed the hearing.

- v. **Application of Steve Seabolt** to request a conditional use permit at 5494 HWY 356, Sautee Nacoochee, Georgia, 30571. Tax map and parcel 068-022A. Total acreage is 1.73. Proposed use is to place in "Short Term Rental" program. Present use is R-1 Residential Single-Family District. The landowner, Steve Seabolt of 5494 HWY 256, was present.

Mr. Barton gave a summary of the application. Mr. Barton stated that the property is not in a subdivision.

White County Planning Commission
Public Hearing: White County Land Use Regulation Agenda

MINUTES

Mr. Seabolt stated that this house was going to be their permanent home, but he and his wife had a business opportunity in 2013 in Florida. He said they still come up and stay at this property, but want to use as a short term rental in between to help with mortgage payments. He explained that they plan to eventually move back, which is why they want the conditional use permit in R-1. He said they plan to manage themselves and will use AirBnB and Direct Booking. Mr. Seabolt explained that they have a couple of emergency contacts and a cleaning staff they will use.

Chairman Thomas asked where the closest residence is; Mr. Seabolt stated that his mother in law lives directly behind the property and they are for the rental. He said his father in law is right across the street.

Chairman Thomas asked if they have done short term rentals previously at this property or elsewhere; Mr. Seabolt said no.

Mrs. Burke asked about the RV pad listed in the application; Mr. Seabolt stated that if people are travelling in an RV, he would like for them to have somewhere to park it because the house is situated on a hill and there is not a lot of turn around space.

Chairman Thomas asked to clarify if the RV would be a rental situation; Mr. Seabolt said no.

Chairman Thomas asked if there were any questions from the board; no response.

Chairman Thomas asked Mr. Seabolt if he had anything to add; he said no.

Chairman Thomas asked if there was any for or against; no response.

Chairman Thomas closed the hearing.

- vi. **Application of William Porter** to request a conditional use permit at 121 Laura Lane, Cleveland, Georgia, 30528. Tax map and parcel 091-070. Total acreage is 1.38. Proposed use is to place in "Short Term Rental" program. Present use is R-1 Residential Single-Family District.

The landowner, William Porter of 121 Laura Lane, was present.

Mr. Barton gave a summary of the application. Mr. Barton stated that the property is in a subdivision, but does not have covenants.

Mr. Porter stated that he is a real estate agent and insurance agent. He stated that he has vacation rentals in St. Augustine, Florida where he lives. He explained that he is from here and has a lot of family here. He explained that he moved to Florida in 2001, but missed the mountains and bought this as a second home for his family. Mr. Porter stated that they only looked for houses that were already used as a vacation rental and this house rented for eight to ten years. He said that sixty to seventy percent of time, it will be occupied by them as a second home and the reason they bought this house is because the woman (a neighbor) that took care of it as a rental treats it as her own.

Chairman Thomas asked how many letters they received; Mr. Porter stated eleven or twelve, but stopped asking because they had over what they needed.

Mrs. Burke asked if there were any other vacation rentals in that subdivision; Mr. Porter said yes, some of them signed the letters.

Mr. Porter explained that they won't rent to just anybody, they want people that will be quiet to where the neighbors won't know that anyone is there and will limit the number of cars. He said they are picky because they will be staying there, as well.

Chairman Thomas asked if they will manage themselves; Mr. Porter said yes, he is a property manager also and he has been managing his home in Florida since 2007.

Mrs. Burke asked how many people the house will sleep; Mr. Porter said the most will be ten, but prefer six to eight. He said there will be ten or twelve most of the time when he stays there because he has a large family.

White County Planning Commission
Public Hearing: White County Land Use Regulation Agenda

MINUTES

Chairman Thomas asked if there is adequate parking and for how many vehicles; Mr. Porter stated that there is enough for six- four in front of the house on concrete pad and a side drive that will park a few more cars.

Mr. Ackerman asked if there will be a local representative renting it out; Mr. Porter stated that he will be handling all of the rentals, but if he has an issue he will contact the neighbor he spoke of earlier. He said she will handle most things, but he will handle any problems. He said he wants to be sure his reviews on line will be good reviews.

Mr. Porter verified that their listing states no more than four vehicles.

Chairman Thomas asked if the board had any other questions; no response.

Chairman Thomas asked Mr. Porter if he had anything else he would like to add; he said no.

Chairman Thomas asked if there were any for or against; no response.

Chairman Thomas closed the hearing.

V. Citizens Comments: None.

VI. Adjournment: Motion to adjourn made by Mrs. Burke, seconded by Mr. Yarbrough. Motion was unanimous.

White County Planning Commission
Regular Session: MINUTES

Monday, August 3rd, 2020
6:00 pm

White County Senior Center
1239 Helen Highway, Cleveland, GA, 30528

Those present were Larry Freeman, R.K. Ackerman, Charlie Thomas, Linda Dixon, Brad Ash, and John Yarbrough.

Staff: Harry Barton, John Sell, and Mercedes Dodd

- I. Call to Order: Chairman Thomas called the meeting to order.
- II. Invocation: Mr. Yarbrough gave the invocation.
- III. Review of Agenda: Chairman Thomas asked if there were any changes to the agenda. Chairman Thomas said there were no changes to the agenda, but wanted to note that the Regular Session meeting is being moved from Monday, September 7th, 2020 to Tuesday, September 8th, 2020. Chairman Thomas opened the regular meeting.
- IV. Review and approval of minutes of June 29th, 2020 and July 6th, 2020: Motion was made by Mrs. Burke to approve the minutes of June 29th, 2020 and July 6th, 2020; seconded by Mrs. Dixon. Motion was unanimous.

V. Variances

a. India Winter Section 601 Access

Application of India Winter to request a variance for access. Property is located on Glencomyn Drive, Sautee Nacoochee, GA, 30571. Tax map and parcel 069-135. Total acreage is 89.07.

The applicant, India Winter of 151 Richardson Road in Sautee Nacoochee, was present.

Mr. Barton gave a summary of the application.

Chairman Thomas asked if this is a family division of property; Mrs. Winter stated that yes, it is being split between herself and her two siblings.

Mrs. Burke asked to clarify that all five tracts were being split between the relatives; Mrs. Winter said all five tracts are being split between the three siblings.

Mrs. Burke asked if any of this would be sold; Mrs. Winter stated that it is not intended to be sold, tract two which is her and her husband's, will be left to her daughter and son in law.

Chairman Thomas asked if the board had any other questions; no response.

Motion made to approve the variance as requested by Mr. Ackerman, seconded by Mr. Yarbrough.

Motion was unanimous.

b. Bill Loudermilk Section 802 Lot Width and Size

Application of Bill Loudermilk to request a variance to add a second dwelling. Property is located at 214 Clifford Drive, Sautee Nacoochee, GA, 30571. Tax map and parcel 070-158A. Total acreage is 4.03.

The landowner, Bill Loudermilk of 214 Clifford Drive, was present.

Mr. Barton gave a summary of the application.

Mr. Loudermilk stated that he originally wanted to do a storage building, but his house seems small with all children at home. Mr. Loudermilk explained that the second house would be for personal family use and family gatherings.

Chairman Thomas asked if there were any other questions from the board; no response.

Motion made to approve the variance as is by Mr. Ash; seconded by Mrs. Burke. Motion was unanimous.

c. Susan Cone Section 601 Access

Application of Susan Cone to request a variance for access. Property is located on Hidden Pond in Cleveland, GA, 30528. Tax map and parcel 063-018. Total acreage is 5.00.

White County Planning Commission

Regular Session: MINUTES

The landowners, Susan Cone and Jim Cone of 4804 Flat Creek Road in Oakwood, Georgia, were present. Mr. Barton gave a summary of the application.

Mr. Cone stated that they don't want to live with their children. Mrs. Cone explained that there is an existing home on the property that their daughter and her husband will live in. She said they split the 5 acres off to build a smaller house.

Chairman Thomas asked if there were any other questions from the board; no response.

Motion made by Mr. Ackerman to approve the variance as is; seconded by Mrs. Dixon. Motion was unanimous.

d. Cindy Nalley Section 802 Lot Width and Size

Application of Cindy Nalley to request a variance to add a second dwelling. Property is located at 317 Chambers Road, Cleveland, GA, 30528. Tax map and parcel 045D-043. Total acreage is 2.01.

The landowner, Cindy Nalley of 317 Chambers Road, was present.

Mr. Barton gave a summary of the application.

Mrs. Nalley stated that her mother is elderly and doesn't have any family in South Georgia where she lives, so Mrs. Nalley wants to move her up here so she can take care of her mother.

Chairman Thomas asked if there were any other questions from the board; no response.

Motion to grant the variance as requested made by Mr. Yarbrough; seconded by Mrs. Dixon. Motion was unanimous.

e. Harland Butler Section 14-133-K Structures and Buildings

Application of Harland Butler to request a variance for structures over 400 square feet. Property is located at 101 Hillcrest Court, Cleveland, GA, 30528. Lot 76 in Paradise Valley Campground. Map and parcel 005E-073. Total acreage is 0.176.

The landowner, Harland Butler of 101 Hillcrest Court, was present.

Mr. Barton gave a summary of the application.

Mr. Barton asked what the total square footage is; Mr. Butler stated that the total currently is 280 square feet, but he would like to add 180 square feet of roof over on his deck, making the total 460 square feet.

Chairman Thomas asked Mr. Butler if he had anything else he would like to add; Mr. Butler said no.

Chairman Thomas asked the board if they had any other questions; no response.

Motion made to approve the variance as requested by Mr. Freeman; seconded by Mrs. Burke. Motion was unanimous.

f. James Harold McCay Section 802 Lot Width and Size

Application of James Harold McCay to request a variance to add a second dwelling. Property is located at 329 Clayton Road, Helen, GA, 30545. Total acreage is 4.07. Tax map and parcel 042B-032.

The landowner, James Harold McCay of 329 Clayton Road and his grandson, James Harold McCay of 327 Clayton Road, were present.

Mr. Barton gave a summary of the application.

Mr. McCay explained that the request is to place a mobile home on the property for his daughter in law and his grandson so they can all stay together on the property without her having to spend money on a different property. Mr. McCay stated that he and his wife are advancing in age and would like to have the family together.

White County Planning Commission
Regular Session: MINUTES

Chairman Thomas asked if the board had any other questions; no response.

Motion to approve the variance as written made by Mrs. Burke; seconded by Mr. Yarbrough. Motion was unanimous.

g. Marie Nolan Section 802 Lot Width and Size

Application of Marie Nolan to request a variance to add a second dwelling. Property is located at 329 Savage Trail, Cleveland, GA, 30528. Tax map and parcel 061-074. Total acreage is 8.88.

The landowner, Marie Nolan of 329 Savage Trail and her father, Elvis Owens of 329 Savage Trail, were present.

Mr. Barton gave a summary of the application.

Mrs. Nolan stated that they just want a place for her father to feel like he has independence but close enough for them to help out.

Chairman Thomas asked if there were any questions from the board; no response.

Motion to approve variance made by Mrs. Dixon; seconded by Mr. Ackerman. Motion was unanimous.

h. Terry Michael Kitchens Section 601 Access

Application of Terry Michael Kitchens to request a variance for access. Property is located on Paradise Valley Road in Cleveland, GA, 30528. Tax map and parcel 005D-069. Total acreage is 2.22.

The landowner, Terry Kitchens of 89 Gold Flume Way in Cleveland, was present.

Mr. Barton gave a summary of the application.

Mr. Kitchens explained that one daughter is getting married and the other is already married, and they are just trying to keep them in White County.

Chairman Thomas asked the board if they had any questions; no response.

Motion to approve the variance made by Mrs. Dixon; seconded by Mrs. Burke. Motion was unanimous.

VI. Land Use

- i. **Application of Verizon Wireless**, represented by Kiersten Lurer, to request a conditional use permit at 99 R&R Drive, Cleveland, GA, 30528. Tax map and parcel 006-006A. Total acreage is 23.13. Proposed use is to add a new tower. Present use is A-1 Agriculture Forestry District.

A representative, Marshal Melvin of P. Marshall & Associates, was present.

Mr. Melvin explained that the structure type is a mono pole and the height 185 feet with 10 foot lightning rod.

Mr. Barton gave a summary of the application. Mr. Barton explained that the tower structure is a separate permit from the conditional use permit.

Chairman Thomas asked the board if they had any questions; no response.

Motion made by Mr. Yarbrough to recommend approval to the Board of Commissioners; seconded by Mrs. Burke. Motion was unanimous.

- ii. **Application of William Cull** to request a conditional use permit at 107 Farmette Drive, Cleveland, Georgia, 30528. Tax map and parcel 030-052. Total acreage is 2.67. Proposed use is to place in "Short Term Rental" program. Present use is R-1 Residential Single-Family District.

The landowner, William Cull of 186 Farmette Drive in Cleveland, was present.

Mr. Barton gave a summary of the application.

White County Planning Commission
Regular Session: MINUTES

Chairman Thomas asked the board if they had any questions; no response.

Motion made by Mr. Freeman to recommend to the Board of Commissioners to approve the conditional use as requested; seconded by Mrs. Dixon. Motion was unanimous.

- iii. **Application of William Cull** to request a conditional use permit at 50 Snowdrift Place, Cleveland, Georgia, 30528. Tax map and parcel 030D-018. Total acreage is 1.65. Proposed use is to place in "Short Term Rental" program. Present use is R-1 Residential Single-Family District.

The landowner, William Cull of 186 Farmette Drive in Cleveland, was present.

Mr. Barton gave a summary of the application.

Chairman Thomas asked the board if they had any questions; no response.

Motion made by Mr. Ackerman to recommend to the Board of Commissioners to approve the conditional use permit as requested; seconded by Mr. Freeman. Motion was unanimous.

- iv. **Application of Alexander Jenkins** to request a conditional use permit at 7932 Hwy 75 Alt, Helen, Georgia, 30545. Tax map and parcel 042B-054. Total acreage is 0.60. Proposed use is to place in "Short Term Rental" program. Present use is R-1 Residential Single-Family District.

The applicant was not present, no recommendation was made.

VII. Citizens Comments

Charles Barnes of 54 Haven Drive in Helen approached the podium. Mr. Barnes said he would like to recommend that the request be denied for the property at 7932 Hwy 75 in Helen due to the location of the driveway. He explained that he owns the property next door and that it is less than 40 feet from the gate that goes to their property. Mr. Barnes said he owns the gate and the driveway; they just have an easement to go through it. He said he feels that if the property is short term rental, it would be detrimental to his well-being with people going in and out at all hours.

Chairman Thomas explained that this hearing would not be voted on since the applicant was not present.

Chairman Thomas asked to clarify that the property owner of 7932 Hwy 75 has legal access to the gate on Mr. Barnes' property. Mr. Barnes explained that it is on the plat, but he was not given a key to the gate when the previous owner put the gate in and that he is unable to go use it.

VIII. Adjournment

Motion to adjourn made by Mrs. Dixon; seconded by Mrs. Burke. Motion was unanimous.



WHITE COUNTY

Board of Commissioners

Item Title: Rezoning from C-1 to R-1 for Kevin Bullock at 2134 Asbestos Road, Sautee Nacoochee

For Meeting Date: 3/25/2024

Work Session **Regular Meeting** **Public Hearing**

Category (Select One): Land Use Application

Submitted By: John Sell

Attachments: Yes **If yes, please list each file name below:**

1. 20593
2. Public Hearing Minutes 2/26/2024
3. Regular Meeting Minutes 3/4/2024

Purpose:

Consider the application of Kevin Bullock to redistrict property located at 2134 Asbestos Road, Sautee Nacoochee, Georgia, 30571 from C-1 Community Commercial District to R-1 Residential Single Family District. Tax map and parcel 044C-068. Total acreage is 5.24. Present zoning is C-1 Community Commercial District.

Background / Summary:

- Applicant is requesting to rezone property at 2134 Asbestos Road. Mr. Bullock recently realized that part of his property was not zoned residential and he may in the future move his family onto the property and he would like it to be zone residential since that will be the use. No one spoke for or against the application. The Planning Commission recommended approval because residential zoning fits the area and the proposed use and the motion passed by unanimous vote.

Department Recommendation:

Planning Commission recommended approval by unanimous vote.

Options:

- Uphold Planning Commission recommendation and approve the application
- Reverse Planning Commission recommendation and deny the application.
- Table the application for further review or to send back to Planning Commission

Budget Information: Applicable Not Applicable

Budgeted: Yes No

Finance Director's Comments (if applicable):

-

County Manager Comments:

-

WHITE COUNTY CHANGE OF LAND USE DISTRICT APPLICATION

OFFICE USE ONLY		Land Use Application #: <u>20593</u>
Public Hearing Date: <u>2/26/2024</u>	Commission District: <u>4</u>	
Fees Assessed: <u>\$250</u>	Paid via: <input type="checkbox"/> cash <input type="checkbox"/> credit card <input checked="" type="checkbox"/> check# <u>1583</u>	

APPLICANT INFORMATION	
Status: <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Authorized Agent <input type="checkbox"/> Lessee <input type="checkbox"/> Option to Purchase	
Printed Name(s): <u>Kevin Bullock</u>	
Address: <u>2134 Asbestos Rd, Santee Nacoochee, GA 30571</u>	
Phone Number: [REDACTED]	Alternate Contact Number:
Email: [REDACTED]	
<i>Owner Information (if different from Applicant/Agent):</i>	
Name:	Phone #:
PROPERTY INFORMATION	
Parcel ID: <u>00 044C 068 Tract 1</u>	Total acreage being changed: <u>5.24</u>
Address: <u>2134 Asbestos Rd, Santee Nacoochee, GA</u>	
Directions to Property: <u>Take Helen Hwy North towards Helen, take a left on to Asbestos Rd for 2.1 miles, property is on the right.</u>	
Current Use/Zoning of Property: <u>C1</u>	
Type of Road Surface: <u>Asphalt</u>	
Any prior redistricting requests for property: <u>N</u> If yes, provide redistricting application #: _____	
SURROUNDING PROPERTY LAND USE CLASSIFICATION:	
North: <u>A1 R1</u>	South: <u>A1</u>
East: <u>A1 R1</u>	West: <u>R1</u>
REQUESTED ACTION AND DETAILS OF PROPOSED USE (check all that apply)	
<input checked="" type="checkbox"/>	Redistrict from district: <u>C1</u> Redistrict to district: <u>R1</u>
<input type="checkbox"/>	Conditional Use - specify:
<input type="checkbox"/>	Special Use - specify:
<input type="checkbox"/>	Land Use Variance from Code Section:
Proposed use if not listed above:	
Is this property part of a subdivision? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If so, please list number of lots:	
Are there covenants? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Is there an active homeowner's association? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Subdivision Name (if applicable):	

Existing Utilities (check all that apply):
 County or City Water Well Septic Gas Electric Broadband

Proposed Utilities (check all that apply):
 County or City Water Well Septic Gas Electric Broadband

COMMERCIAL AND INDUSTRIAL REDISTRICKT INFORMATION

Building Area: _____ No. of Parking Spaces: _____

RESIDENTIAL REDISTRICKT INFORMATION

No. of Lots: _____ Minimum Lot Size in acres: _____ No. of Units: _____

Minimum Heated Floor Area (ft²): _____ Density/Acre: _____

Is an Amenity area proposed (specify if yes)?

Apartments Condominiums Townhomes Single Family

Rental Cabins Recreational Vehicle Park Other- Specify: _____

LIST OF ADJACENT PROPERTY OWNERS

It is the responsibility of the Applicant to provide a list of adjacent property owners that has property bordering your property or who has property directly across the street from your property (additional sheet may be included, if necessary).

PARCEL	PROPERTY OWNER NAME	MAILING ADDRESS
1 044C 069	Hoyt + Imogene Autry	459 Pointe Willow Dr, Cleveland 30528
2	Betty Ann Partin	PO Box 2207, Cleveland, GA 30528
3	Baker Farms of Santee LLC	2197 Asbestos Rd, Santee Nacoochee, GA 30571
4	Lavetta McColbm Living Trust	#70 Buttril Ct, Jackson, GA 30233
5	Derrick + Angell Lindeberg	5722 Waterfall Way, Buford, GA 30518
6	Deborah Helton	2132 Asbestos Rd, Santee Nacoochee, GA 30571
7	Kevin + Alyson Bullock	2134 Asbestos Rd, Santee Nacoochee, GA 30571

APPLICANT CERTIFICATION

I hereby request the action contained within this application relative to the property shown on the attached plats and site plan and further request that this item be placed on both the Planning Commission and Board of Commissioners meeting agendas.

I understand that the Planning Department staff may either accept or reject my request upon review. My request will be rejected if all the necessary data is not presented.

I understand that I have the obligation to present all data necessary and required by statute to enable the Planning Commission and Board of Commissioners to make an informed determination on my request. I understand that I may seek legal advice if I am not familiar with the land use requirements and procedures.

I understand that my request will be acted upon at the Planning Commission and Board of Commissioners meetings and that I am required to be present or to be represented by someone able to present all facts and answer all questions. I understand that failure to appear at a meeting shall result in the postponement or denial of my application request. I further understand that it is my responsibility to be aware of relevant meeting dates and times regardless of notification from White County.

I hereby certify that I have read the above and that the above information, as well as the attached information, is true and correct.

Applicant Signature: *KWBrew*

Date: *1-5-24*

2024 DEADLINES AND MEETING DATES

Submittal Date Planning Dept. Office 5:00 p.m. Deadline	Planning Commission Public Hearing 1239 Helen Hwy 6:00 p.m.	Planning Commission Regular Session 1239 Helen Hwy 6:00 p.m.	Board of Commissioners Work Session 1235 Helen Hwy 4:30 p.m.
Wednesday, January 10, 2024	Monday, February 26, 2024	Monday, March 4, 2024	Monday, March 25, 2024
Wednesday, February 7, 2024	Monday, March 25, 2024	Monday, April 1, 2024	Monday, April 29, 2024
Wednesday, March 13, 2024	Monday, April 29, 2024	Monday, May 6, 2024	TBA
Wednesday, April 10, 2024	Tuesday, May 28, 2024	Monday, June 3, 2024	Monday, June 24, 2024
Wednesday, May 8, 2024	Monday, June 24, 2024	Monday, July 1, 2024	Monday, July 29, 2024
Wednesday, June 12, 2024	Monday, July 29, 2024	Monday, August 5, 2024	Monday, August 26, 2024
Wednesday, July 10, 2024	Monday, August 26, 2024	Tuesday, September 3, 2024	Monday, September 30, 2024
Wednesday, August 14, 2024	Monday, September 30, 2024	Monday, October 7, 2024	Monday, October 28, 2024
Wednesday, September 11, 2024	Monday, October 28, 2024	Monday, November 4, 2024	Monday, November 25, 2024
Wednesday, October 9, 2024	Monday, November 25, 2024	Monday, December 2, 2024	Monday, December 30, 2024
Wednesday, November 13, 2024	Monday, December 30, 2024	Monday, January 6, 2025	Monday, January 27, 2025
Wednesday, December 11, 2024	Monday, January 27, 2025	Monday, February 3, 2025	Monday, February 24, 2025
Wednesday, January 8, 2025	Monday, February 24, 2025	Monday, March 3, 2025	Monday, March 31, 2025

*MEETING DATES ARE SUBJECT TO CHANGE

**BOLDED DATES ARE RESCHEDULED MEETINGS DUE TO HOLIDAYS

rev. 12.8.2023

NOTICE OF AGRICULTURAL DISTRICT ADJACENCY

Future abutting developers in non-agricultural land use districts shall be provided with this "Notice of Agricultural Adjacency" prior to administrative action on either land use district, the issuance of a building or occupancy permit or approval of a subdivision of property. Prior to administrative action, the applicant shall be required to sign this wavier which indicates that the applicant understands that a use is ongoing, adjacent to his/her use, which can produce odors, noise, dust and other effects which may not be compatible with the applicant's development. Nevertheless, understanding the effects of the adjacent Agricultural District uses, the applicant agrees by executing this form to waive any objection to those effects and understands that his/her district change and/or permits or other approvals are issued and processed in reliance on his agreement not to bring any action asserting that the adjacent uses in the Agricultural District constitute a nuisance against the local government and adjoining land owners whose property is located in an Agricultural District. This wavier shall be provided and made applicable for subsequent purchasers and owners or heirs of his/her property. This notice and acknowledgement shall be public record.

Applicant Signature: *Kw Billw*

Date: *1-5-24*

**DISCLOSURE OF CAMPAIGN CONTRIBUTIONS
(APPLICANTS AND REPRESENTATIVE(S) OF REQUESTED ACTION)**

Pursuant to O.C.G.A. Section 36-67 A-3.A, the disclosure of any campaign contributions aggregating \$250.00 or more to a local government official who will consider an application for re-classification or for a conditional use or special use permit is mandatory when an application or any representation of application for re-classification of district or for conditional use or special use permit has been made within two (2) years immediately preceding the filing of a request for reclassification or conditional use or special use permit by the same applicant and/or representative of said applicant. It shall be the duty of the applicant and/or any representatives of the applicant to file a disclosure with the governing authority of the respective local government to show the following:

Name of local official(s) to whom campaign contribution was made: *None*

The dollar amount and description of each campaign contribution made by the applicant to the local government official during the two (2) years immediately preceding the filing of this application for action for district re-classification, conditional use or special use permit.

Amount \$: *None*

Date:

Enumeration and description of each gift (when the total value of all gifts is \$250.00 or more) made to the local government official during the two (2) years immediately preceding the filing of this application. **Please attach additional sheets if needed.**

None

Check box if no contributions made

Applicant Signature: *Kw Billw*

Date: *1-5-24*

PROPERTY OWNER AUTHORIZATION

To be completed by the property owner to certify ownership of subject property and to provide authorization for other person(s) to represent the owner on their behalf.

I/WE (print), Kevin Bullock,
hereby swear that I/we own the property for which this land use change application is being made.

Property Address and/or Parcel ID: <u>2134 Asbestos Rd, Santee Mccoochee, GA 30571 044C 068 Tract 1</u>	
PROPERTY OWNER INFORMATION	
Printed Name of Owner(s): <u>Kevin Bullock</u>	
Mailing Address: <u>2134 Asbestos Rd Santee Mccoochee, GA</u>	
Phone Number: [REDACTED]	
Alternate Contact Number:	
Email: [REDACTED]	
I/we hereby authorize the person named below to act as the applicant or agent in the pursuit of the requested action on this property. I/we understand that any action granted and/or conditions or stipulations placed on the property will be binding upon the property regardless of ownership. The person named below is authorized to make this application. The person named below is aware that no application or re-application affecting the same land shall be acted upon within six (6) months from the date of the last action by the White County Board of Commissioners.	
Printed Name of applicant or agent(s): <u>Kevin Bullock</u>	
Signature of Owner(s):	Date Signed:
<u>KWB</u>	<u>1-5-24</u>

PROPERTY OWNER AUTHORIZATION DOCUMENT: NOTARY ACKNOWLEDGEMENT

Sworn to (or affirmed) and subscribed before me this 5th day of Jan, 2024 by Kevin Bullock (name of signer(s)). The named signer(s) is/are personally known by me or produced the identification type of Drivers License.

{Seal}

Doreen Green
NOTARY PUBLIC
White County, GEORGIA
My Commission Expires 07/12/2025

Doreen Green
(Signature of Notary)

Doreen Green
(Name of Notary Typed, Stamped, or Printed)

APPLICANT ACKNOWLEDGEMENT OF MEETING DATES

I, Kevin Bullock (print name) have been advised that I or someone to represent me must be in attendance when my application is before the White County Planning Commission and the White County Board of Commissioners or it will be tabled. I also acknowledge that I have been made aware of the below dates upon submission of my application.

Senior Center, 1239 Helen Hwy, Cleveland

6:00pm

Public Hearing Date (Planning Commission): 2-26-24

Regular Meeting Date (Planning Commission): 3-4-24

Administration Building, 1235 Helen Hwy, Cleveland

4:30pm

Board of Commissioners Meeting Date: 3-25-24

**Meeting dates are subject to change*

KwBrew

Signature of Applicant or Authorized Agent

1-5-24

Date

<u>OFFICE USE ONLY</u>	
Copy given to applicant:	<u>1/8/2024</u> (date)
Staff Initials:	<u>rwj</u>
Flag (circle):	<u>(Y)</u> N

WITHDRAWAL	
<i>Notice: This section only to be completed if application is being withdrawn.</i>	
PART II - OFFICIAL CODE/APPENDIX C - LAND USE REGULATIONS/ARTICLE XVIII. AMENDMENT, APPLICATION AND PROCEDURAL REQUIREMENTS	
<i>Section 1803. Withdrawal of amendment application. Any petition for an amendment to these regulations, official land use district map, conditional use approval, variance or special use permit may be withdrawn, at the discretion of the person or agency initiating such request, at any time prior to final action by the board of commissioners upon written notice to the planning director. Any required fees shall be forfeited</i>	
I hereby withdraw application #:	
Applicant Signature:	Date:

Letter of Intent

I am requesting to re zone my property at 044C 068 Tract 1 from Community Commercial District C-1 to Residential Single Family District R-1 so that I can put a single family home on the property for my parents.


Kevin Bullock

January 5, 2024



P.O. Box 3020
Cleveland, GA 30528-0052
Phone: 706-865-0788
Fax: 706-865-0329

January 5, 2024

VIA-EMAIL:



RE: 2134 Asbestos Road
Sautee Nacoochee, GA 30571
White County, Georgia

To Whom It May Concern,

Let this letter serve as notice that White County Water Authority does have water available but at this time does not service the above referenced service address.

Please call our office if you have any questions concerning the referenced service area, you can reach me at (706) 865-0788, Monday – Friday 8:00 a.m. – 4:30 p.m.

Thank you,

Edwin Nix
Executive Director
White County Water Authority



Public Health
Prevent. Promote. Protect.

White County Environmental Health

Zachary Taylor, M.D., M.S., Acting Health Director

1241 Helen Highway, Unit 210 • Cleveland, GA 30528

PH: 706-348-7698 • FAX: 706-348-1670 • www.phdistrict2.org

Banks, Dawson, Forsyth, Franklin, Habersham, Hall, Hart, Lumpkin, Rabun, Stephens, Towns, Union and White Counties

- | | | | |
|--------------------------|---|-------------------------------------|--|
| <input type="checkbox"/> | Evaluation Applied For | <input type="checkbox"/> | Appropriate Permit Applied For |
| <input type="checkbox"/> | Appropriate Permit Issued to Applicant | <input checked="" type="checkbox"/> | Evaluation, Permit Not Applied For At This Time |

DATE: 01/04/2024

APPLICANT NAME: KEVIN BULLOCK

PROPERTY ADDRESS: PART OF 044C 068
CLEVELAND, GA 30528
(VACANT LAND)

White County Planning Department:

In reference to a request for a change of zoning/land use or a building permit, application may need to be made for an existing system evaluation to determine:

- that the permit on file is the correct permit for the property in question;
- that there is no evidence of system failure;
- that the septic system is appropriately sized for the current and proposed use;
- that there is adequate repair after the proposed addition;
- that there are no conditions that could adversely affect the functionality of the system.

Please note that this is NOT an all-inclusive list. Based upon the information submitted and/or the outcome of the evaluation, it may be determined that a septic system needs additional capacity or upgrade. If so, the appropriate permit will need to be obtained and the work completed before an approval can be given.

If, based upon information submitted, no septic systems exist on the property, this zoning/land use change and/or building permit request should not affect the property with respect to septic use.

White County Environmental Health
District 2 Public Health

By signing below, I certify all information submitted is accurate and true to the best of my knowledge.



Kevin Bullock

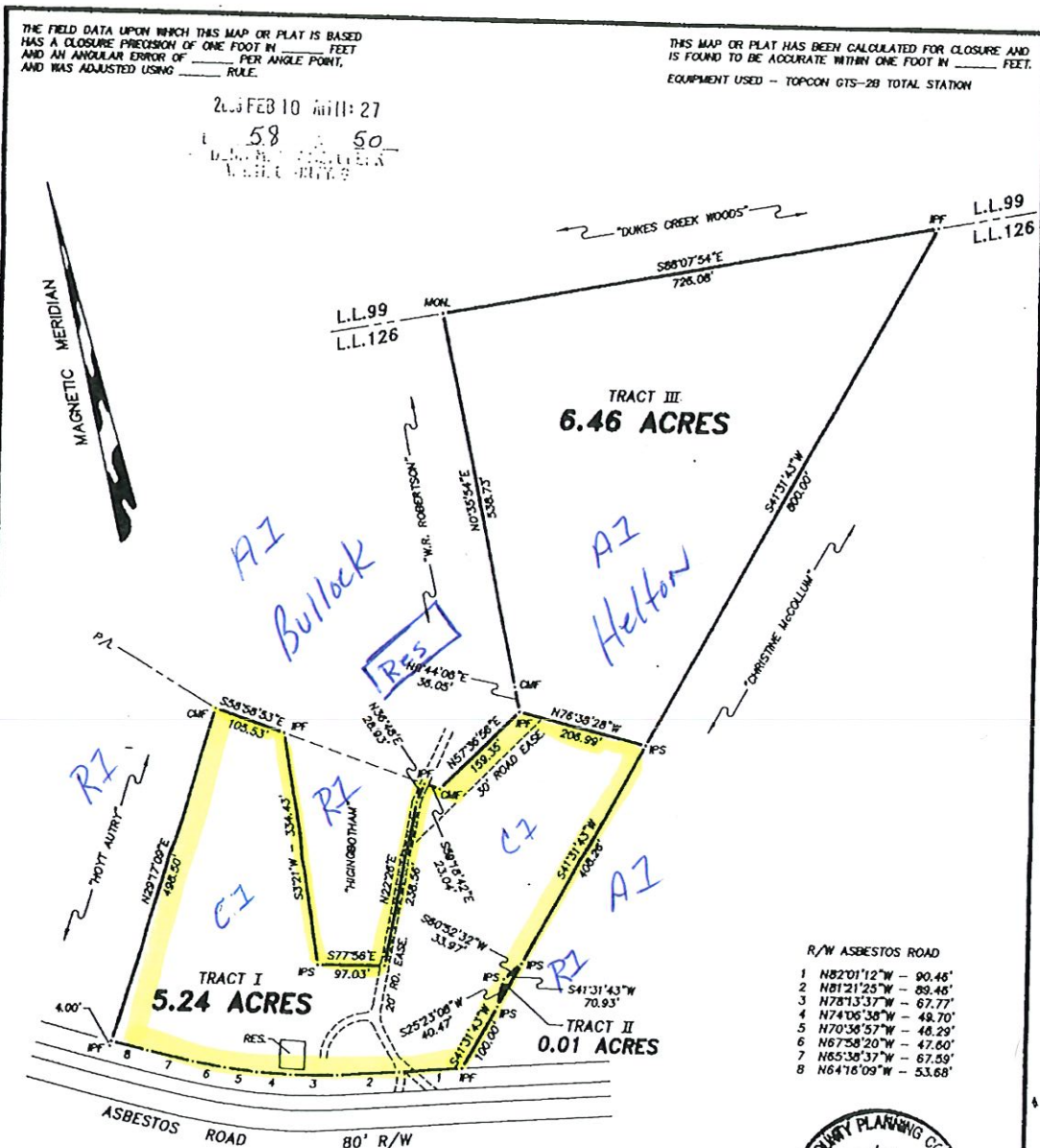
Applicant Signature

THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN _____ FEET AND AN ANGULAR ERROR OF _____ PER ANGLE POINT, AND WAS ADJUSTED USING _____ RULE.

THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN _____ FEET. EQUIPMENT USED - TOPCON GTS-28 TOTAL STATION

2005 FEB 10 AM 11:27

58 50
L.L. 126



TR II ADD TO TRACT #2
THIS PROPERTY IS NOT IN A DESIGNATED FLOOD HAZARD AREA.

JOB NO. 05-030



2-5-05

EDDIE HOOD & ASSOCIATES
8 COURTHOUSE SQUARE
CLEVELAND, GA. 30528
PHONE: (706) 865-3676
FAX: (706) 865-7303

PLAT PREPARED FOR

MYRTLE WHEELER

LAND LOT 126 — 3rd DISTRICT
WHITE COUNTY, GEORGIA
DATE: 02-05-2005 — SCALE: 1" = 150'

B/171/86





OFFICIAL TAX RECEIPT

White County Tax Commissioner

Cindy Cannon

P. O. Box 970

Cleveland GA 30528

Phone 17068652225 - Fax 17062190078

Email: wctc@whitecounty.net

OWNER

BULLOCK KEVIN WAYNE BULLOCK ALYSON N

2134 ASBESTOS RD

SAUTEE NACOOCHEE, GA 30571-3102

PAID DATE			10/31/2023
RECEIPT PRINTED			1/8/2024 9:15:37 AM
CASH AMOUNT	CHECK AMOUNT	CHARGE AMOUNT	CHECK NUMBER(S) CHARGE APPROVAL CODE
\$0.00	\$0.00	\$0.00	
REFUND AMOUNT			\$0.00
OVERPAY AMOUNT			\$0.00
CHANGE AMOUNT			\$0.00
REGISTER			9
CASHIER			
TOTAL PAID			\$1,884.24

Tax Year- Bill Number FMV Property ID	Property Description Property Address District Serial Number Decal Number	Due Date Original Due	Interest Penalty Other Fees	Previous Paid Amount	Current Amount Due	Amount Paid	Tax Bill New Balance	
2023-2506 FMV: 393070.00 044C 068	PB46/134 LD3 LL126 2134 ASBESTOS RD DISTRICT: 001 SERIAL NUMBER: DECAL NUMBER: 0	11/15/2023 \$1,884.24	\$0.00 \$0.00 \$0.00	\$0.00	\$1,884.24	\$0.00	\$0.00	
Paid By: CORELOGIC for bill_no 2506				Overpayment Amount: 0.00				
Transaction(s): 3155 - 3155		Total(s):	\$1,884.24	\$0.00	\$0.00	\$1,884.24	\$1,884.24	\$0.00

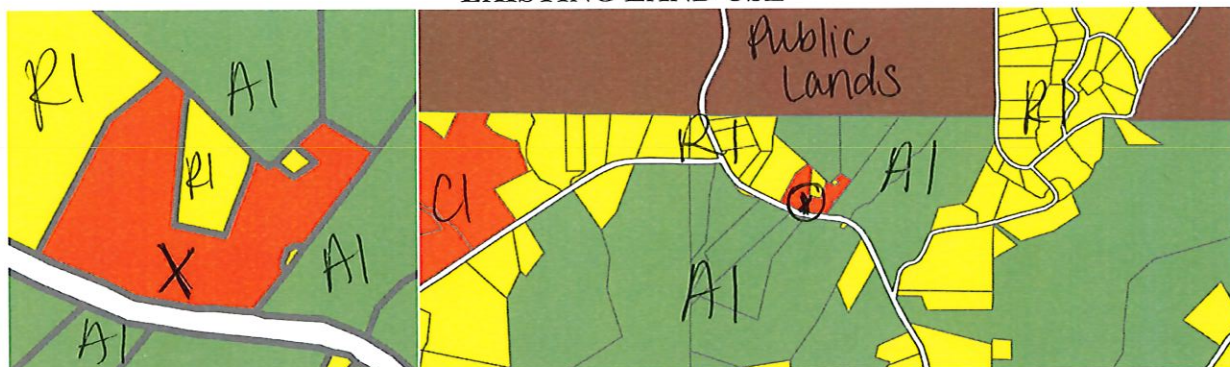




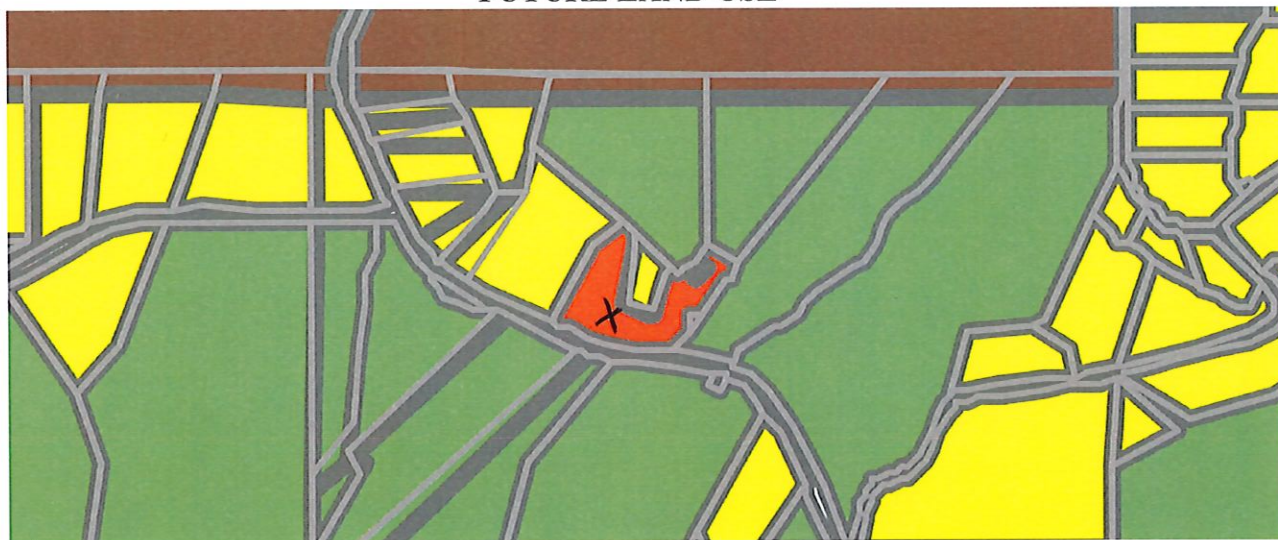
**WHITE COUNTY PLANNING DEPARTMENT
STAFF COMMENT**

- Application #20593 – Kevin Bullock for property located at 2134 Asbestos Road in Sautee Nacoochee.
- Request is to redistrict from C-1 Community Commercial District to R-1 Single Family Residential District.
- Property adjoins:
 - R-1 Residential Single-Family District to the West and interior property lines of tract
 - A-1 Agriculture Forestry District to the North, South, and East
- The White County Comprehensive Plan Future Land Use Map indicates Community Commercial.
- Total acreage is 5.24.
- Property supplied by White County Water Authority and septic.

EXISTING LAND USE



FUTURE LAND USE



LAND USE DISTRICT MAP AMENDMENT CRITERIA

1. The existing uses and district designation of nearby property and whether the proposed land use will adversely affect the existing use or usability of nearby property.

WHITE COUNTY PLANNING DEPARTMENT STAFF COMMENT

Existing properties along Asbestos Road are primarily designated as A1-Agriculture and R1-Residential.

- 3 tracts at the intersection of Asbestos Rd. and Helen Hwy. are designated as C2.
- 4 additional tracts including the subject tract located along Asbestos Rd. are designated as C1.
- Remainder tracts A1 and R1

The proposed R1 designation is in conformity with the Comprehensive Plan and the intent as set forth within the Land Use Regulations.

2. The extent to which property values are diminished by the particular zoning restrictions. Property values are not diminished by the current zoning. This site is an established residence with related accessory structures. The current commercial designation does not reflect the use or potential use of this property as it currently exist. Property values will be gauged by the residential market.
3. The extent to which the destruction of property values promotes the health, safety, morals or general welfare of the public.
Property values will be gauged by the residential market.
4. The relative gain to the public as compared to the hardship imposed upon the individual property owner.
R1 –Residential maintains uniformity as the primary zoning designation along Asbestos Rd. R1-Residential may offer tax relief to the property owner/taxpayer in the annual tax assessment.
5. The physical suitability of the subject property for development as presently districted land under the proposed land use district.
This site is an established residence with related accessory structures. The current commercial designation does not reflect the use or potential use of this property as it currently exist. The physical suitability for a Commercial development would be based upon a Plan Review Process.
6. The length of time the property has been vacant considered in the context of land development in the area in the vicinity of the property and whether there are pre-existing or changed conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the rezoning request.
The proposed R1 designation is in conformity with the Comprehensive Plan and the intent as set forth within the Land Use Regulations.
7. The zoning history of the subject property.
No zoning changes have occurred.

**WHITE COUNTY PLANNING DEPARTMENT
STAFF COMMENT**

8. The extent to which the proposed zoning will result in a use which will or could cause excessive or burdensome use of existing streets, transportation facilities, utilities, schools, parks or other public facilities.

No adverse effects will be caused by the R1 designation

9. Whether the land use proposal is in conformity with the policy and intent of the comprehensive plan or other adopted plans.

R1 Designation is in conformity with the Comprehensive Plan and Land Use Regulations

WHITE COUNTY PLANNING COMMISSION MINUTES
PUBLIC HEARING: LAND USE REGULATION

Monday, February 26th, 2024
6:00 pm

White County Senior Center
1239 Helen Hwy, Cleveland, Ga. 30528

Those present were Larry Freeman, R.K. Ackerman, Dona K. Burke, Charlie Thomas, Linda Dixon, Brad Ash, and John Yarbrough. Staff members present were Tammy Carter, John Sell, and Mercedes Dodd.

Chairman Thomas called the meeting to order. Mr. Yarbrough gave the invocation. No changes made to agenda.

Application of Kevin Bullock to redistrict property located at 2134 Asbestos Road, Sautee Nacoochee, Georgia, 30571 from C-1 Community Commercial District to R-1 Residential Single Family District. Tax map and parcel 044C-068. Total acreage is 5.24. Present zoning is C-1 Community Commercial District. The applicant, Kevin Bullock of 2134 Asbestos Road, was present. Ms. Carter gave a summary of the application. Mr. Bullock explained he did not realize his home was zoned commercial when he purchased it. He stated he may move family onto the property at some point but would like the property to be zoned residential like he thought at the time of purchase.

Chairman Thomas asked if anyone would like to speak for the application, there was no response. He asked if anyone would like to speak against the application, there was no response. Chairman Thomas closed the hearing. He advised the applicant of the next meeting on March 4th.

Motion to adjourn made by Ms. Burke and seconded by Mr. Ackerman. Motion was unanimous.

WHITE COUNTY PLANNING COMMISSION MINUTES
REGULAR SESSION

Monday, March 4th, 2024
6:00 pm

White County Senior Center
1239 Helen Hwy, Cleveland, Ga. 30528

Those present were Larry Freeman, R.K. Ackerman, Dona K. Burke, Charlie Thomas, Linda Dixon, and John Yarbrough. Staff members present were Tammy Carter, John Sell, and Mercedes Dodd.

Chairman Thomas called the meeting to order. Mr. Yarbrough gave the invocation. No changes made to agenda. Motion to approve the minutes of January 29th, 2024 and February 5th, 2024 made by Ms. Dixon and seconded by Ms. Burke. Motion was unanimous.

Application of Margaret Roche to request a variance from Section 802 Lot Width and Size for a second dwelling. Property is located at 191 Shamrock Road, Sautee Nacoochee, GA, 30571. Tax map and parcel is 071-140. Total acreage is 3.98.

The applicant, Margaret Roche of 191 Shamrock Road, was present. Ms. Carter gave a summary of the application. Ms. Roche said the total acreage is 13.21 acres and only family will reside on the property, similar to a family compound. Chairman Thomas explained that should the property be sold, it would need to meet subdivision regulations. Ms. Roche explained the property could only be transferred to legal family members per the real estate attorney.

Motion to approve the variance made by Ms. Burke and seconded by Mr. Ackerman. Chairman Thomas requested to add the condition of if the property sells, it must meet subdivision regulations. Ms. Burke agreed to add the condition to the motion. Motion was unanimous.

Application of Philip Byers to request a variance from Section 601 Access. Property is located at 0 Sandy Flats Road, Cleveland, GA, 30528. Tax map and parcel is 020-130. Total acreage for variance is 11.34, Tracts I & II.

The applicant, Philip Byers of 235 McCall Way in Monroe, GA, and other co-owners were present. Ms. Carter gave a summary of the application. Mr. Byers explained the driveway is already permitted and staked to meet sight distance requirements. He stated the driveway is 250 feet from the crossroad of Town Creek Road, but an easement from Town Creek Road is an extensive cost and said this was the safest and easiest tract to enter after discussing it with the county. When asked if the stone wall was historical, he said he was unsure if it is part of the historical register. He said he plans to build and move onto the property.

Motion to approve the variance made by Ms. Dixon and seconded by Mr. Yarbrough. Motion was unanimous. Ms. Carter advised the applicant to contact her office regarding plat approval.

Application of Linda Moore to request a variance from Section 601 Access. Property is located at 0 Crane Trail, Cleveland, GA, 30528. Tax map and parcel is 064-001. Total acreage for variance is 10.63. The applicant, Linda Moore of 1385 Pless Road in Cleveland, was present. Ms. Carter gave a summary of the application. Ms. Moore explained this property was an unexpected inheritance from a friend. She said there is a mortgage on it so she does plan to sell both tracts.

Motion to approve the variance made by Ms. Burke and seconded by Ms. Dixon. Motion was unanimous.

Application of Michael Parsons to request a variance from Section 601 Access. Property is located at 0 Claude Sims Road, Cleveland, GA, 30528. Tax map and parcel is 033-093. Total acreage for variance is 2.15.

The applicant nor a representative were present. Chairman Thomas stated the applicant would need to reapply.

WHITE COUNTY PLANNING COMMISSION MINUTES
REGULAR SESSION

Application of James Lee Thomas to request a variance from Section 601 Access. Property is located at 0 Lackey Creek Drive, Cleveland, GA, 30528. Tax map and parcel is 019-264. Total acreage for variance is 3.29, Tract II.

Chairman Thomas stated the applicant is his first cousin, so he stepped away from the table and asked Mr. Yarbrough to Chair for this application. Vice Chairman Yarbrough called the applicant to the podium. The applicant, James Thomas of 1100 Jennys Cove Road in Cleveland, was present. Ms. Carter gave a summary of the application. Mr. Thomas stated he purchased the property years ago and has decided to divide it to give to his children.

Motion to approve the variance made by Ms. Burke and seconded by Ms. Dixon. Motion was unanimous, with the vote of Vice Chairman Yarbrough. Ms. Carter advised the applicant to come by her office to pick up the approved plat.

Vice Chairman Yarbrough gave the Chair back to Chairman Thomas.

Application of Kevin Bullock to redistrict property located at 2134 Asbestos Road, Sautee Nacoochee, Georgia, 30571 from C-1 Community Commercial District to R-1 Residential Single Family District. Tax map and parcel 044C-068. Total acreage is 5.24. Present zoning is C-1 Community Commercial District. The applicant, Kevin Bullock of 2134 Asbestos Road, was present. Ms. Carter gave a summary of the application. Mr. Bullock explained the request is to change to residential and that he may have to look for a place for his parents in the future, but that is not set in stone.

Motion to recommend approval to the Board of Commissioners to place the property into property zoning made by Mr. Ackerman. Motion was seconded by Ms. Burke. Motion was unanimous.

There was no citizen comment.

The board discussed providing reasons for approval and denial of land use applications going forward per the recommendation of the county attorney.

Motion to adjourn made by Ms. Burke and seconded by Ms. Dixon. Motion was unanimous.



WHITE COUNTY

Board of Commissioners

Item Title: Consider approval of the procedure to appeal the White County Short Term Rental Subdivision Map

For Meeting Date: 3/25/2024

Work Session **Regular Meeting** **Public Hearing**

Category (Select One): Other

Submitted By: John Sell

Attachments: Yes **If yes, please list each file name below:**

1. White County STR Map Appeals Form
2. _
3. _

Purpose:

Consider approval of the procedure to appeal the White County STR Subdivision Map that was approved by the Board of Commissioners on Jan. 8, 2024. Since the map was approved by the BOC, as part of approving amendments to Chapter 16 of White County Code, only the BOC can change the map. In order to be consistent, staff is recommending that all appeals to the STR Subdivision map start with the Community and Economic Development Department which will then request that the appeal be added to the next available meeting agenda.

Background / Summary:

- At the Jan. 8 meeting of the White County Board of Commissioners amendments were made to Chapter 16 Short Term Rental Host License of White County Code to include a Short Term Rental Subdivision map. In creating the map, the Community and Economic Development staff used a criteria of any plat of 4 parcels of common development qualified as a subdivision. Since the map has been approved several individuals have brought to the attention of the staff that their property was either incorrectly included as part of a subdivision or that their subdivision was not included on the map - primarily because a plat of the subdivision as a whole does not exist. In the cases where outparcels were incorrectly included, a map of the subdivision will be submitted so the BOC can authorize correction of the map. A plat can also be used to include a subdivision on the map. In cases where the subdivision does not have a plat but wants to be included on the map, applicants will have to submit deeds of impacted properties that clearly denote each property as part of a subdivision. It will be up to the applicant to provide the map and parcel numbers of impacted properties and include consent/approval of the owners. Staff will use the attached form as the application for an appeal. Based on the information provided, staff will make a recommendation to the BOC as to whether to amend the map or not.

Department Recommendation:

Community and Economic Development recommend approval of the procedure.

Options:

- Approve the procedure.
- Refer the procedure back to staff for amendments/revisions.
- Table the application for further review by the BOC.

Budget Information: Applicable Not Applicable

Budgeted: Yes No

Finance Director's Comments (if applicable):

-

County Manager Comments:

-



STR Subdivision Map Appeal Form

Applicant Completes This Section

Subdivision Name _____ Date _____

Subdivision Road Names _____

Affected properties (Map and Parcel #s) _____

Contact _____ Phone Number _____

The White County Board of Commissioners (BOC) approved the Short Term Rental Subdivision map on Jan. 8, 2024. Any appeal of the map will be processed through the Community and Economic Development Department for consideration by the BOC. A letter of request from the HOA/applicant outlining the appeal must accompany this form.

No STR applications for referenced properties will be granted while under appeal.

Step 1 – Is there a recorded plat of the subdivision (4 or more parcels of common development)?

Yes – Provide the plat and nothing else is required to appeal.

No – Proceed to Step 2.

Step 2 – Is there a recorded Deed reference of subdivision properties?

Yes – Provide the Deed and verification of support from 100% of owners of listed subdivision properties (i.e. letters/HOA minutes/signed petition etc...).

No - This request does not qualify for appeal.

Applicants Signature _____



WHITE COUNTY

Board of Commissioners

Item Title: Hazard Mitigation Planning Grant

For Meeting Date: 3/25/2024

Work Session **Regular Meeting** **Public Hearing**

Category (Select One): Grant App / Acceptance

Submitted By: David L. Murphy, Jr. Public Safety Director

Attachments: Yes **If yes, please list each file name below:**

1. Grant Award Letter & Documentation
2. _____
3. _____

Purpose:

The purpose of this grant to provide funding to contract for the development of the update of the Hazard Mitigation Plan for White County. This plan is required by FEMA to receive funding for mitigation grants, and reimbursement in the event of a natural or manmade disaster.

Background / Summary:

- White County maintains a Hazard Mitigation Plan.
- The current plan expires September 9, 2026 and the new plan must be submitted prior to May 2, 2026.
- Funds will be used to contract for the development of our new Hazard Mitigation Plan.
- The county has a match cash and/or in-kind of \$ 1,066.68

Department Recommendation:

Approve the grant acceptance and authorization of the Chairman and appropriate officials signatures to execute all documents.

Options:

- Do not authorize.

Budget Information: Applicable **Not Applicable**

Budgeted: Yes **No**

Finance Director's Comments (if applicable):

-

County Manager Comments:

-

GEORGIA EMERGENCY MANAGEMENT AND HOMELAND SECURITY AGENCY

BRIAN P. KEMP
GOVERNOR



JAMES C. STALLINGS
DIRECTOR

February 22, 2024

Honorable Travis Turner
Chairman
White County Board of Commissioners
1235 Helen Highway
Cleveland, Georgia 30528

Dear Commissioner Turner,

On behalf of Governor Brian Kemp, it is my pleasure to inform you that a Hazard Mitigation Grant Program (HMGP) Award has been approved by the Federal Emergency Management Agency. The grant will be used to update the White County Multi-Jurisdictional Hazard Mitigation Plan to meet the federal requirements of the Disaster Mitigation Act of 2000. The total approved cost is \$17,778.00 with a federal share of \$16,000.20, a state share of \$ 711.12, a local share of \$ 1,066.68, and Subrecipient Management cost of \$1,198.95.

These funds are subject to the execution of the enclosed Recipient-Subrecipient Agreement. Please keep in mind that your current Hazard Mitigation Plan will expire on September 9, 2026. The end date of this grant is May 2, 2026. In order to keep your current plan active and meet the end date of this grant, please submit an initial draft to your assigned Hazard Mitigation Planner at least six months prior to the earliest of either the plan expiration date or the grant end date.

Please sign and return the agreement, and a fully executed copy will be returned to you later for your files.

Thank you for your commitment to protect Georgia Citizens. I appreciate your efforts to ensure that Georgia continues to be a safer place for us to live and raise our families. By working together, we are continuing to reduce the impacts caused by natural hazards. Should you have any questions regarding this grant, please contact Stephen Clark, Hazard Mitigation Manager, at (404) 635-4573.

Sincerely,

Valarie Grooms for,
James C. Stallings

kc/rl

Enclosures

cc: David Murphy, Director

White County Emergency Management Agency

Jonathan Jones, Area Coordinator

Georgia Emergency Management and Homeland Security Agency

HAZARD MITIGATION GRANT PROGRAM Recipient-Subrecipient Agreement

On March 29, 2020, the President declared that a major disaster exists in the State of Georgia. This declaration was based on the Covid-19 Pandemic. This document is the Recipient-Subrecipient Hazard Mitigation Assistance Agreement for the major disaster, designated FEMA-4501-DR, under the Robert T. Stafford Disaster Relief and Emergency Assistance Act, Public Law 93-288 as amended by Public Law 100-707, 42 USC 5121 et seq. ("The Act"), in accordance with 2 CFR Part 200, Hazard Mitigation Grant Program. Under this Agreement, the interests and responsibilities of the Recipient, herein after referred to as the State, will be executed by the Georgia Emergency Management and Homeland Security Agency (GEMA/HS). The individual designated to represent the State is Mr. James Stallings, Governor's Authorized Representative. The Subrecipient to this Agreement is White County. The interests and responsibilities of the Subrecipient will be executed by White County's agent, the Subrecipient's Authorized Representative.

1. The following Exhibits are attached and made a part of this agreement:

- Exhibit "A": Hazard Mitigation Grant Program Project Administration Guidelines: Financial Assistance
- Exhibit "B": Certification Regarding Drug-Free Workplace Requirements
- Exhibit "C": Certification Regarding Lobbying
- Exhibit "D": Scope of Work
- Exhibit "E": HMGP Progress Payment Request Form
- Exhibit "F": Complaint Verification Form
- Exhibit "G": Federal Funding Accountability and Transparency Act Certification

2. Pursuant to Section 404 of the Act, funds are hereby awarded to the Subrecipient on a 90 percent federal cost share and 4 percent state cost share basis for the hazard mitigation project(s) described in Exhibit "D." The Subrecipient shall be responsible for the remaining 6 percent share of any costs incurred under Section 404 of the Act and this Agreement. Allowable costs will be governed by 2 CFR Part 200.
3. If the Subrecipient violates any of the conditions of disaster relief assistance under the Act, this Agreement, or applicable federal and state regulations; the State shall notify the Subrecipient that additional financial assistance for the project in which the violation occurred will be withheld until such violation has been corrected to the satisfaction of the State. In addition, the State may also withhold all or any portion of financial assistance which has been or is to be made available to the Subrecipient for other disaster relief projects under the Act, this or other agreements, and applicable federal and state regulations until adequate corrective action is taken.
4. The Subrecipient agrees that federal or state officials and auditors, or their duly authorized representatives may conduct required audits and examinations. The Subrecipient further agrees that they shall have access to any books, documents, papers and records of any recipients of federal disaster assistance and of any persons or entities which perform any

activity which is reimbursed to any extent with federal or state disaster assistance funds distributed under the authority of the Act and this Agreement.

5. The Subrecipient will establish and maintain an active program of nondiscrimination in disaster assistance as outlined in implementing regulations. This program will encompass all Subrecipient actions pursuant to this Agreement.
6. The Subrecipient agrees that the mitigation planning project contained in this agreement will be completed by White County on or before May 2, 2026. Completion dates may be extended upon justification by the Subrecipient and approval by FEMA and the Governor's Authorized Representative.
7. The written assurances provided by White County pertaining to FEMA's post award approval conditions apply to this Award Agreement and are incorporated by reference.
8. The Subrecipient shall follow Uniform Administrative Requirements for awards found in 2 CFR Part 200 and FEMA HMA (Hazard Mitigation Assistance) program guidance to implement this award
9. There shall be no changes to this Agreement unless mutually agreed upon, in writing, by both parties to the Agreement.

Governor's Authorized
Representative

Subrecipient's Authorized
Representative

Date

Date

EXHIBIT "A"
GEORGIA EMERGENCY MANAGEMENT AGENCY/HOMELAND SECURITY
Hazard Mitigation Grant Program
Project Administration Guidelines: Financial Assistance
4501-0086

This fact sheet provides a synopsis of information contained in the Recipient-Subrecipient Agreement and other applicable documents. Its purpose is to provide general guidelines for efficient and timely Hazard Mitigation Grant Program project administration.

1. **Project Identification.** The Federal Emergency Management Agency (FEMA) has assigned project number HMGP-4501-0086 to this project. Please reference this number in all correspondence, as doing so will greatly assist us in processing any actions for this project.
2. **Documentation.** You must keep full documentation to get maximum payment for project related expenditures. Documentation will be required as part of the approved Hazard Mitigation Grant Program project file. Documentation consists of:
 - A. Recipient-Subrecipient Agreement.
 - B. Copies of checks, vouchers or ledger statements.
 - C. Contracts awarded.
 - D. Invoices or other billing documents.
 - E. Progress reports.
 - F. Record of advance or progress payments (where applicable).
3. **Funding.** Cost sharing has been established at 90% federal, 4% state, and 6% applicant.
4. **Debarred and Suspended Parties.** You must not make any award or permit any award (subaward or contract) at any tier to any party which is debarred or suspended or is otherwise excluded from or ineligible for participation in Federal assistance programs under Executive Order 12549, "Debarment and Suspension".
5. **Procurement Standards.** You may use your own procurement procedures, which reflect applicable State and local laws and regulations, provided that the procurements conform to applicable Federal laws and standards. Below is a summary of key procurement standards that a subrecipient should incorporate as discussed in 2 CFR Sections 200.318 to 200.326.
 - A. **Conflict of Interest Policy**
 The subrecipient must maintain written standards of conduct covering conflicts of interest and governing the performance of its employees engaged in the selection, award, and administration of contracts as required in 2 CFR Section 200.318.
 - B. **Procurement**
 1. Perform procurement transactions in a manner providing full and open competition

2. Contracts and Procurements must be of reasonable cost, generally must be competitively bid, and must comply with Federal, State, and local procurement standards. FEMA finds five methods of procurement acceptable:

- a. Micro-purchase procedures: an informal method for securing services or supplies that do not cost more than \$10,000. Micro-purchases may be awarded without soliciting competitive quotes if the subrecipient considers the price to be reasonable.
- b. Small purchase procedures: an informal method for securing services or supplies that do not cost more than \$250,000 by obtaining several price quotes from different sources
- c. Sealed bids: a formal method where bids are publicly advertised and solicited, and the contract is awarded to the responsive bidder whose proposal is the lowest in price
- d. Competitive proposals: a method similar to sealed bid procurement in which contracts are awarded on the basis of contractor qualifications instead of on price
- e. Non-competitive proposals: a method whereby a proposal is received from only one source, because the item is available only from a single source; there is an emergency requirement that will not permit delay;

- C. Maintain sufficient records to detail the significant history of procurement. These records will include, but are not necessarily limited to, the following: rationale for the method of procurement, selection of contract type, and contractor selection or rejection.
- D. Take affirmative steps to assure the use of small and minority firms, women's business enterprises, and labor surplus area firms when possible
- E. Include specific provisions in subrecipients' contracts to allow changes, remedies, changed conditions, access and records retention, suspension of work and other clauses approved by the Office of Federal Procurement Policy.

6. Payments

A. Progress Payments

- 1) When progress payments are desired, you must submit a written request (on provided form at Exhibit "E") and provide supporting documentation, such as an invoice and copies of check.
 - a. The first expenditure report is due by February 12, 2025, which is within 12 months of the FEMA award date. Subsequent expenditure reports are due annually or more frequently as needed.

- 2) The Mitigation Planning Specialist reviews the request and supporting documentation. The Hazard Mitigation Manager reviews and approves or denies the request.
 - 3) If the request is denied, the Hazard Mitigation Manager will inform you in writing that additional documentation is required to support the request.
 - 4) If the request is approved, the Hazard Mitigation Manager will authorize payment of the requested amount less final 10%, which will be withheld pending final project completion.
 - 5) Quarterly report submissions must be current in order to receive progress payments.
 - B. Advance Payments - Advance payments will be made on an exception basis only.
7. Subrecipient Performance - The scope of work (see Exhibit D) must be initiated within 90 days of this award notification.
- A. If documentation, inspections or other reviews reveal problems in performance of the scope of work, the Hazard Mitigation Manager will inform you in writing of the deficiencies.
 - B. In addition, the State may also withhold all or any portion of financial assistance which has been made available under this agreement until adequate corrective action is taken.
8. Award Expiration Date
- A. The award expiration date runs through May 2, 2026 and has been established based on project milestones established by the applicant in their grant application. The award expiration date is the time during which the Subrecipient is expected to complete the scope of work. You may not expend FEMA or state funds beyond this date. All costs must be submitted for reimbursement within 60 days of the plan approval by FEMA, or within 60 days of the grant expiration date, whichever comes first.
 - B. Requests for time extensions to the Award Expiration Date will be considered but will not be granted automatically. A written request must be submitted to the Hazard Mitigation Manager with an explanation of the reason or reasons for the delay. Without justification, extension requests will not be processed. Extensions will not be granted if the sub-recipient has any overdue quarterly progress reports. If an extension is requested, it must be received 90 days prior to the award expiration date. When fully justified, the Hazard Mitigation Manager may extend the award expiration date.

9. Project Termination
- A. The Recipient, Subrecipient, or FEMA may terminate award agreements upon giving written notice to the other party at least seven (7) calendar days prior to the effective date of the termination. All notices are to be transmitted via registered or certified mail.
 - B. The Subrecipient's authority to incur new costs will be terminated upon the date of receipt of the notice or the date set forth in the notice. Any costs incurred prior to the date of the receipt of the notice or the date of termination set forth in the notice will be negotiated for final payment. Close out of the award will commence and be processed as prescribed under final inspection procedures described in this Recipient-Subrecipient Agreement.
10. Equipment/Supplies
- A. The Subrecipient must comply with the regulations listed in 2 CFR 200.313 Equipment and 2 CFR 200.314 Supplies, and must be in compliance with state laws and procedures.
12. Award Modifications
- A. Any award modifications, including deviation from the approved scope of work or budget, must be submitted in writing for approval prior to implementation. Unless otherwise noted within this agreement, all award modification requests will be considered on a case by case basis. Award Modifications include:
 - 1) Any revision which would result in the need for additional funding.
 - 2) Transfers between budget categories.
 - B. The subrecipient shall follow prior approval requirements for budget revisions found in 2 CFR 200.308. Transfer of funds between total direct cost categories in the approved budget shall receive the prior approval of FEMA when such cumulative transfers among those direct cost categories exceed ten percent of the total budget.
 - C. The following award modification requests will not be considered:
 - 1) Any modification request received after FEMA plan approval.
 - 2) Requests for additional funding due to labor when a contractor is used for plan update work.
13. Appeals - You may submit an appeal on any item related to award assistance. Appeals must be submitted to the Hazard Mitigation Manager within 90 days of the action which is being appealed.

14. Progress Reports

- A. Quarterly progress reports are required. The report will be supplied to you by GEMA/HS on a quarterly basis for your completion.
- B. The initial progress report will cover the period through March 31, 2024. It must be submitted no later than April 15, 2024.
- C. Subsequent reports must be filed by you within fifteen days after the end of each calendar quarter (March 31, June 30, September 30, and December 31).

15. Interim Inspections

Interim inspections may be conducted by GEMA/HS staff and/or FEMA staff.

16. Project Closeout

- A. When all work has been completed, you must notify your Mitigation Planning Specialist in writing to request project closeout.
- B. A desk review will be conducted by your Mitigation Planning Specialist.

Audits

- A. If you receive \$750,000 or more in federal assistance from all federal sources, not just this award, during your fiscal year, you are responsible for having an audit conducted as prescribed by the Single Audit Act and sending a copy to the Georgia Department of Audits and Accounts. Mail reports to:

Department of Audits and Accounts
 Non-Profit and Local Government Audits
 270 Washington Street, SW, Room 1-156
 Atlanta, Georgia 30334-8400

If you need additional information or assistance, contact the Hazard Mitigation Division at (404) 635-7522 or 1-800-TRY-GEMA.

EXHIBIT "B"

Certification Regarding Drug Free Workplace Requirements

This certification is required by the regulations implementing Executive Order 12549, This certification is required by the regulations implementing the Drug-Free Workplace Act of 1988, 2 CFR Part 3001. The regulations require certification by Subrecipients, prior to award, that they will maintain a drug-free workplace. The certification set out below is a material representation of fact upon which reliance will be placed when the agency determines to grant the award. False certification or violation of the certification shall be grounds for suspension of payments,

- A. The Subrecipient certifies that it will or will continue to provide a drug-free workplace by:
- (a) Publishing a statement notifying employees that the unlawful manufacture, distribution, dispensing, possession, or use of a controlled substance is prohibited in the Recipient and Subrecipient's workplace and specifying the actions that will be taken against employees for violation of such prohibition;
 - (b) Establishing an ongoing drug-free awareness program to inform employees about--
 - (1) The dangers of drug abuse in the workplace;
 - (2) The Recipient's policy of maintaining a drug-free workplace;
 - (3) Any available drug counseling, rehabilitation, and employee assistance programs; and
 - (4) The penalties that may be imposed upon employees for drug abuse violations occurring in the workplace;
 - (c) Making it a requirement that each employee to be engaged in the performance of the award be given a copy of the statement required by paragraph (a);
 - (d) Notifying the employee in the statement required by paragraph (a) that, as a condition of employment under the award, the employee will--
 - (1) Abide by the terms of the statement; and
 - (2) Notify the employer in writing of his or her conviction for a violation of a criminal drug statute occurring in the workplace no later than five calendar days after such conviction;
 - (e) Notifying the agency in writing within ten calendar days after receiving notice under subparagraph (d)(2) from an employee or otherwise receiving actual notice of such conviction. Employers of convicted employees must provide notice, including position and title, to every award officer or other designee on whose award activity the convicted employee was working, unless the Federal agency has designated a central point for the receipt of such notices. Notice shall include the identification number(s) of each affected award;
 - (f) Taking one of the following actions, within 30 calendar days of receiving notice under subparagraph (d)(2), with respect to any employee who is so convicted—
 - (1) Taking appropriate personnel action against such an employee, up to and including termination, consistent with the requirements of the Rehabilitation Act of 1973, 29 U.S.C. § 701 et seq.; or
 - (2) Requiring such employee to participate satisfactorily in a drug abuse assistance or rehabilitation program approved for such purposes by a Federal, State, or local health, law enforcement, or other appropriate agency;
 - (g) Making a good faith effort to continue to maintain a drug-free workplace through implementation of paragraphs (a), (b), (c), (d), (e) and (f).

EXHIBIT "C"

CERTIFICATION REGARDING LOBBYING
Certification For Contracts, Awards, Loans, and Cooperative Agreements

This certification is required by the regulations implementing the New Restrictions on Lobbying, 44 CFR Part 18. The undersigned certifies, to the best of his or her knowledge and belief, that:

1. No Federal appropriated funds have been paid or will be paid, by or on behalf of the undersigned, to any person for influencing or attempting to influence an officer or employee of an agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with the awarding of any Federal contract, the making of any Federal award, the making of any Federal loan, the entering into of any cooperative agreement, and the extension, continuation, renewal, amendment, or modification of any Federal contract, award, loan, or cooperative agreement.
2. If any funds other than Federal appropriated funds have been paid or will be paid to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with this Federal contract, award, loan, or cooperative agreement, the undersigned shall complete and submit Standard Form-LLL, "Disclosure Form to Report Lobbying," in accordance with its instructions.
3. The undersigned shall require that the language of this certification be included in the award documents for all subawards at all tiers (including subcontracts, sub awards, and contracts under awards, loans, and cooperative agreements) and that all Subrecipients shall certify and disclose accordingly.

This certification is a material representation of fact upon which reliance was placed when this transaction was made or entered into. Submission of this certification is a prerequisite for making or entering into this transaction imposed by 31 U.S.C. § 1352. Any person who fails to file the required certification shall be subject to a civil penalty of not less than \$10,000 and not more than \$100,000 for each such failure.

Subrecipient Authorized Representative

Date

EXHIBIT “D”

PROJECT SCOPE

Shown below is the funding level and scope of work for the Hazard Mitigation Program project for White County. Any changes to this spreadsheet must receive prior approval from GEMA/HS and will be maintained by GEMA/HS and shall supersede all previous versions.

Labor	Fees/ Contractor	TOTAL COST
\$1,777.80	\$16,000.20	\$17,778.00

Federal Share*	State Share*	Local Share*
90%	4%	6%

Subrecipient Management Cost
\$1,198.95

*Cost shares are calculated on a percentage basis. Actual cost share dollar amounts will fluctuate based on final overall project costs.

Conditions:

White County and participating municipalities will update their multi-jurisdictional Hazard Mitigation Plan to meet DMA2K five year update requirements of FEMA. The planning process implemented through this grant must comply with the Local Hazard Mitigation Planning requirements contained in 44 CFR 201. A complete draft plan document must be submitted to the State and our office for review and comment at least 6 months prior to completion of the grant such that any necessary revisions may be made prior to adoption and within the period of performance. The final plan documents must be submitted for review and approval prior to the end of the period of performance of the grant, and FEMA approval must be obtained prior to the grant closeout. The plan must be adopted by the governing body of all participating jurisdictions within 6 months of the initial FEMA final approval, in order for participants to obtain eligibility for application to the State for FEMA mitigation grant programs. White County will follow and adhere to all sections of the Scope of work (See Below), and Milestones listed in the associated grant application. White County will include all HAZUS Level II analysis provided by GEMA/HS in their risk assessment and utilize the information to update their goals, objectives and actions steps.

The budget includes Subrecipient Management Costs to cover grant administration costs, including completion of this agreement and submission of quarterly reports and reimbursement requests. The allowed costs are up to 5% of the budgeted project costs, or the final actual project costs, whichever amount is less.

Scope of Work

The County will update its existing Multi-jurisdictional Pre-disaster Mitigation Plan according to the requirements of the Disaster Mitigation Act of 2000. This Scope of Work was designed in conformance to FEMA Plan Guidance requirements.

The County agrees to have representatives attend and participate in all GEMA/HS and local level mitigation planning meetings and workshops. The County will coordinate as needed with the GEMA/HS representative to utilize the tools necessary and to ensure that the plan meets the most current Federal regulations. Each county will be required to complete the following: Critical Facility Inventory and basic mapping will be established in the Georgia Mitigation Information System, including running reports by jurisdiction for each identified hazard; GEMA/HS Worksheets 3A for each participating jurisdiction for each identified hazard; high level detail for all mitigation action steps as required by FEMA and GEMA/HS; ensure all “recommended revisions” from their previous FEMA Plan review are addressed in the plan update.

Additionally, the County will ensure the plan update is consistent with the most current requirements from FEMA, including:

- **Identify all changes to the plan within each section**
- **Update the Planning Process**
 - List jurisdictions participating in the plan that seek approval.
 - Describe the process used to review and analyze each section of plan, as well as process used to determine if a section warranted an update.
- **Improve the risk assessment**
 - Address any newly identified hazards that pose a more significant threat than was apparent when previously approved plan was prepared.
 - Discuss new occurrences of hazard events and update the probability of future occurrences.
 - Incorporate new information where data deficiencies were identified in the previous plan, or if the data deficiencies remain unresolved, explain why they remain unresolved and include a schedule to resolve the issue.
 - Include current inventory of existing and proposed buildings, infrastructure, and critical facilities in hazard areas, including existing NFIP repetitive loss structures. The community will determine how far into the future they wish to go in considering proposed buildings and Critical Facilities based on and timed with data gathering phase of their comprehensive plan or land use plan update.
 - The loss estimate should be updated to reflect any changes to the hazard profile and/or the inventory of structures. Any changes to analysis methodologies must be noted. Any previously noted data deficiencies should be updated or explained.
 - Include a general overview of land uses and types of development occurring within the community and highlight any new and/or relevant information.
 - If there are changes in the risk assessment or the vulnerability of the community to the hazards, the information must be attributed to the appropriate jurisdiction(s) or to the whole planning area, whichever applies.
 - Continue to use all available tool sets and data as the GMIS is enhanced (for example: repetitive losses...)
- **Analyze, update, and continue development of Goals, Objectives, and Action Steps**
 - Use this update as an opportunity for jurisdictions to reconsider the goals and objectives. For goals and actions that remain, the plan must document that they were re-evaluated and deemed valid and effective.
 - Goals and objectives shall include the community’s strategy for new or continued NFIP participation. Continue to use the “STAPLEE Criteria” (Social, Technical, Administrative, Political, Legal, Economic, and Environmental), or incorporate the STAPLEE Criteria if not previously used to assess the value of and develop an understanding of the cost effectiveness of mitigation action steps. If actions remain unchanged, the updated plan must indicate why changes are not necessary.
 - Shall include evaluation and prioritization for any new mitigation action steps.
- **Update the Plan Maintenance and Implementation**
 - Must include an analysis of whether previously approved plan’s method and schedule for monitoring, evaluating, and updating plan worked, and what elements or processes, if any, were changed; and discuss method and schedule to be used over next five years.
 - Describe other planning mechanisms or ordinances that this plan will be incorporated into, such as Comprehensive Plans.
- **Information Dissemination**
 - Describe how community was kept involved during plan maintenance process over previous five years, within planning process section of plan update.
 - Plan maintenance section shall describe how community will involve public during plan maintenance process over next five years.
- **Adoption and Review**
 - The plan will be submitted for State review and recommendation prior to adoption.
 - Upon recommendation from GEMA/HS, the county and participating municipalities will adopt the plan.
 - The adopted plan will be submitted for FEMA review and approval.

EXHIBIT "E"

Date: _____

White County HMGP Progress Payment Request

Instructions: All requests for progress payments must be supported by documentation supporting actual expenditures. Itemize each expenditure below to the fullest detail possible, including a reference to specific sites or elements of work. Attach documentation that supports this progress payment request, such as copies of bills of sale, invoices, receipts, and checks evidencing payment. Do not send originals. Attach a continuation sheet if necessary.

AGREEMENT NUMBER: HMGP-4501-0086

FEMA Project Number: HMGP-4501-0086

SUBRECIPIENT NAME: White County

EMGrants ID. Number: 4501 F# 86 S#72

Site Reference or Element of Work	Approved Amount	Previous Payment	Current Request	Description of Documentation Attached in Support of this Payment Request
<u>Fees / Contractor</u>	\$16,000.20			<u>Invoice</u> Proof of payment (Check, purchase order, etc.)
<u>Labor</u>	\$1,777.80			<u>Labor Expense Sheet</u>

Under penalty of perjury, I certify that to the best of my knowledge the data above is correct and that all outlays were made in accordance with the grant conditions, comply with procurement regulations contained within the 2 CFR, Part 200, and that payment is due and has not been previously requested. I am familiar with Section 317 of Public Law 93-288, as amended by the Robert T. Stafford Disaster Relief and Emergency Assistance Act.

Signature of Subrecipient's Authorized Representative (and printed name)

EXHIBIT "F"
COMPLAINT VERIFICATION FORM

INSERT CURRENT
COMPLAINT VERIFICATION FORM



THE GEORGIA EMERGENCY MANAGEMENT AND HOMELAND SECURITY AGENCY

Language Access Plan 2022

Purpose

The intent of this Language Access Plan (the Plan) is to ensure the Georgia Emergency Management and Homeland Security Agency (GEMA/HS) is prepared to address its responsibilities as a recipient of Federal Financial Assistance as they relate to the needs of individuals with limited English language skills. The Plan has been prepared in accordance with Title VI of the Civil Rights Act of 1964, 42 U.S.C. § 200d, *et seq.*, and Executive Order 13166, to follow when providing services to, or interacting with, individuals who have limited English proficiency (LEP). Following these guidelines is essential to the success of our mission to protect life and property against man-made and natural disasters by directing the State's efforts in the areas of prevention, preparedness, mitigation, response, and recovery.

GEMA/HS is a recipient of federal funds for a portion of its programs and, thus, obligated to reduce language barriers that can preclude Meaningful Access by LEP persons to GEMA/HS programs and GEMA/HS' Subrecipients' programs. GEMA/HS has prepared this Language Access Plan, which defines the actions to be taken to ensure Meaningful Access to Agency services, programs, and activities on the part of persons who have LEP.

Authority

Title VI of the Civil Rights Act of 1964

Section 601 of Title VI of the Civil Rights Act of 1964, 42 U.S.C. 2000d, provides that no person shall "on the ground of race, color, or national origin, be excluded from participation in, be denied the benefits of, or be subjected to discrimination under any program or activity receiving Federal Financial Assistance."

Section 602 authorizes and directs federal agencies that are empowered to extend Federal Financial Assistance to any program or activity "to effectuate the provisions of [section 601] * * * by issuing rules, regulations, or orders of general applicability." 42 U.S.C. 2000d-1.

Executive Order 13166

Executive Order 13166, entitled "Improving Access to Services for Persons with Limited English Proficiency," authorizes the implementation of regulations afforded by Title VI of the Civil Rights Act of 1964. Executive Order 13166 ensures LEP persons have Meaningful Access to federally conducted and funded programs and activities. This protection requires that LEP persons be provided an equal opportunity to benefit from services that are normally provided in English. Executive Order 13166 requires that federal agencies create plans for ensuring that their own activities also provide Meaningful Access for persons who are LEP.

Definitions

Beneficiary: The ultimate consumer of federally funded programs who receives benefits from a federally funded recipient.

Bilingual: A person competent in two languages in equal aptitude in either oral or written form is considered bilingual.

Customer: Any individual or organization communicating with a GEMA/HS program.

GEMA/HS LAP Coordinator: GEMA/HS employees that collectively work together as the LAP Coordinator.

Federal Financial Assistance: Grants, loans, and advances of federal funds, the grant or donation of federal property and interests in property, or any other assistance as specified in 24 CFR Part I § 1.2(e).

Focus Languages: Languages, specifically Chinese, Korean, Spanish, and Vietnamese, identified through the Four-Factor Analysis as having a sufficient level of prevalence amongst LEP individuals in Georgia to warrant statewide efforts for written translations of vital documents.

Interpretation: The act of listening to a communication in one language (source language) and orally converting it to another language (target language) while retaining the same meaning.

Language Access Plan (LAP): A written implementation plan that addresses identified needs of the LEP persons served.

Language Assistance Services: Oral and written language services needed to assist LEP individuals to communicate effectively with staff, and to provide LEP individuals with Meaningful Access to, and an equal opportunity to participate fully in, the services, activities, or other programs administered by GEMA/HS.

Limited English Proficient (LEP) Individuals: Individuals who do not speak English as their primary language and who have a limited ability to read, write, speak, or understand English because of their national origin. For purposes of Title VI and the LEP Guidance, persons may be entitled to language assistance with respect to a particular service, benefit, or encounter. (HUD LEP Guidance). LEP individuals may be competent in English for certain types of communication (e.g., speaking or understanding), but still demonstrate LEP for other purposes (e.g., reading or writing).

Meaningful Access: LEP individuals' accurate, timely, and effective participation in, or benefit from, federally funded programs that is meaningfully equivalent to that of non-LEP individuals, at no cost to the LEP individual.

Multilingual staff or employee: A staff person or employee who has demonstrated fluency in English and reading, writing, speaking, or understanding at least one other language as authorized by his or her Division.

Primary Language: An individual's primary language is the language in which an individual most effectively communicates.

Recipient: Qualified applicants in compliance with 24 CFR §1.2(f) who are awarded Federal Financial Assistance. The Voluntary Compliance Agreement defines Recipient as "the meaning specified at 24 CFR §1.2(0)." 24 CFR §1.2(f) defines Recipient as "any State, political subdivision of any State, or instrumentality of any State or political subdivision, any public or private agency, institution, organization, or other entity, or any individual, in any State, to whom Federal Financial Assistance is extended, directly or through another recipient, for any program or activity, or who otherwise participates in carrying out such program or activity (such as a redeveloper in the Urban Renewal Program), including any successor, assign, or transferee thereof, but such term does not include any ultimate beneficiary under any such program or activity."

Subrecipient: Any public or private agency, institution, organization, or other entity to whom Federal Financial Assistance is extended, through GEMA/HS for any program or activity, or who otherwise participates in carrying out such program or activity, but such term does not include any Beneficiary under any such program.

Translation: The replacement of written text from one language (source language) into an equivalent written text in another language (target language).

Policy

GEMA/HS complies with all federal statutes and regulations in the administration of federally funded programs. Through the Plan, GEMA/HS will take timely and reasonable steps to provide LEP persons with Meaningful Access to programs and activities conducted by GEMA/HS and its Subrecipients. Access to GEMA/HS programs and services should not be impeded as a result of an individual's inability to speak, read, write, or understand English. GEMA/HS will review and update its LEP Four-Factor Analysis at least every five years.

The Plan requires communication of information contained in vital documents involving emergency services to all people in the state of Georgia. All interpreters, translators, and other aids needed to comply with the Plan shall be provided without cost to the person being served and will be informed of the availability of such assistance free of charge. Language assistance will be provided through the use of competent bilingual interpreters, contracts, or formal arrangements with local organizations providing interpretation or translation services, or technology and telephonic interpretation services. All GEMA/HS employees will be provided notice of the Plan, and GEMA/HS employees that may have direct contact with LEP individuals will be trained in effective communication techniques, including the effective use of an interpreter.

GEMA/HS will train staff, contractors, and Subrecipient administrators (program administrators who are expected to conduct a Four-Factor Analysis and other efforts described within this LAP), and local government officials on procedures to implement and continuously monitor and evaluate the implementation of LAPs in the state of Georgia.

Pursuant to the requirements of Title VI, Subrecipients of federal funds received through an administration grant/award made by GEMA/HS are also required to make reasonable efforts to provide timely, Meaningful Access for LEP persons to programs and activities. In order to do so, Subrecipients should first conduct an assessment to determine the need for language assistance within their service area. This is accomplished by conducting the Four-Factor Analysis, which is described in the Plan. After completion of the Four-Factor Analysis, the Subrecipients will understand the languages spoken by LEP persons in their service area and can determine how to provide needed language assistance.

Based upon the findings of the Four-Factor Analysis, and when deemed necessary, the Sub-Recipients should prepare a Language Access Plan addressing the Subrecipient's plan for ensuring Meaningful Access to programs and activities for LEP persons. A Subrecipient may conclude that different language assistance measures are sufficient for the different types of programs or activities in which it engages. For instance, a Subrecipient may determine that certain activities are more important and/or have greater impact on or contact with LEP persons, and thus such programs or activities require enhanced language assistance.

Subrecipients are also required to select an individual responsible for coordination of LEP compliance, train staff involved in programs and activities on LEP requirements, keep records of assistance provided and actions taken, and update the Four-Factor Analysis and LAP, as needed. GEMA/HS will monitor all Subrecipients to ensure LEP individuals receive Meaningful Access to GEMA/HS federally funded programs.

Four Factor Analysis

In developing the Plan, GEMA/HS used the Four Factor LEP analysis, which considers the following:

1. The number or proportion of LEP persons eligible to be served or likely to be encountered by GEMA/HS programs, activities, or services in the state of Georgia;
2. The frequency with which LEP individuals come in contact with GEMA/HS programs, activities or services;
3. The nature and importance of the program, activity or service provided to the LEP population; and
4. The resources available to GEMA/HS and the overall cost to provide assistance.

Factor 1: Number or proportion of LEP persons eligible to be served or likely to be encountered by GEMA/HS programs, activities, or services.

GEMA/HS used the U.S. Census Bureau’s American Community Survey (ACS), 2020: ACS 5-Year Estimates Data Profile of Georgia to determine the number of LEP persons throughout the State. Based on the data provided, GEMA/HS considers individuals who speak English less than “very well” as LEP persons. According to the ACS data, the state of Georgia has a total population of 9,864,494 persons five years old and older. Of the 9,864,494 persons, the ACS estimates that 536,491 persons or 5.44 percent of the State’s population are LEP.

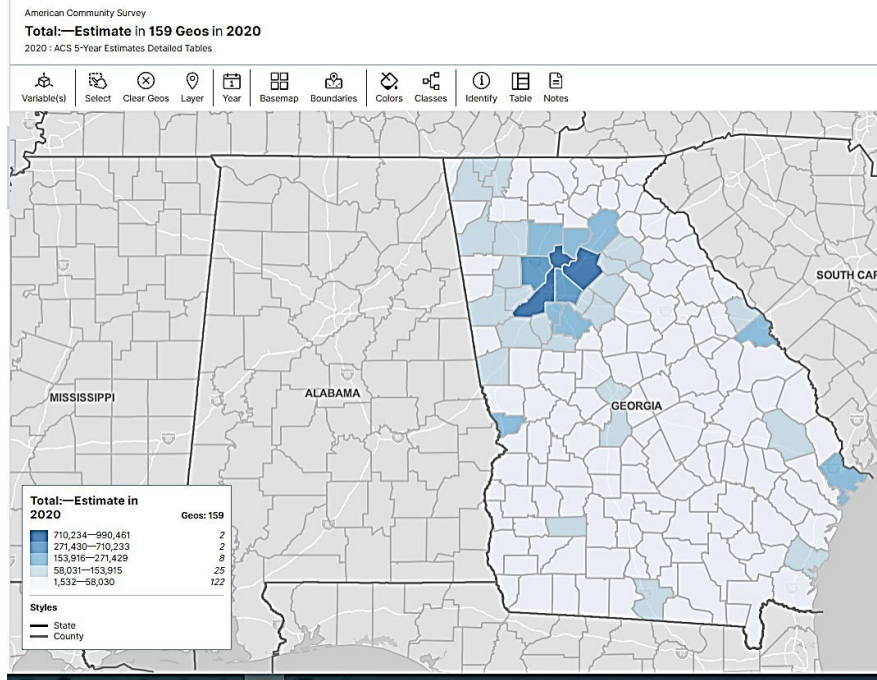
MOST COMMON LANGUAGES SPOKEN AT HOME

	Total Number of speakers	Number who speak English less than “very well”	Percent of total population who speak English less than “very well”
Total population 5 years and over	9,864,494	536,491	5.44%
Spanish	781,103	332,566	3.37%
Korean	47,879	24,252	0.25%
Vietnamese	52,832	32,588	0.33%
Chinese (incl. Mandarin, Cantonese)	51,251	25,814	0.26%
Arabic	20,010	6,025	0.06%
French, Haitian, or Cajun	53,999	11,186	0.11%
German or other West Germanic languages	27,898	3,488	.04%
Russian, Polish, or other Slavic languages	28,301	9,171	

Source: U.S. Census Bureau, 2020 American Community Survey (Table C16001 5 year estimate)

2020 ACS 5-Year Estimates Detailed Tables for 159 Counties in Georgia

Languages Spoken at Home for the Population 5 Years and Over



Source: [U.S. Census Bureau, 2020 American Community Survey \(Table C16001 5 year estimate\)](#)

COUNTIES WITH HIGHEST CONCENTRATION OF LEP PERSONS

	Total population (>age 5)	LEP population (number)	LEP population (percent)
Georgia	9,864,494	536,491	5.44%
Fulton County	990,461	49,465	5.00%
Gwinnett County	865,453	133,239	15.40%
DeKalb County	702,759	58,543	8.33%
Cobb County	710,233	49,527	6.97%
Muscogee County	181,372	4,258	2.35%
Chatham County	271,429	9,517	3.50%
Hall County	188,380	24,750	13.14%
Cherokee County	238,875	11,768	4.93%
Henry County	216,771	8,038	3.71%
Clayton County	265,889	24,413	9.18%
Richmond County	188,446	3,767	2.00%
Bartow County	99,540	3,219	3.23%
Forsyth County	222,422	13,626	6.13%
Floyd County	91,953	4,632	5.04%
Paulding County	153,915	2,823	1.83%

Coweta County	137,185	4,339	3.16%
Douglas County	136,211	6,480	4.76%
Troup County	65,591	1,186	1.81%
Rockdale County	84,942	4,714	5.55%
Walton County	87,651	1,694	1.93%
Jackson County	65,919	2,223	3.37%
Barrow County	75,774	4,407	5.82%
Clarke County	120,443	5,949	4.94%
Fayette County	108,463	3,994	3.68%
Spalding County	61,990	851	1.37%
Newton County	102,864	2,202	2.14%
Carroll County	111,220	3,567	3.21%
Lowndes County	108,509	2,127	1.96%
Dougherty County	82,900	1,076	1.30%
Glynn County	80,176	2,437	3.04%
Bulloch County	73,268	1,306	1.78%
Walker County	65,478	403	0.62%
Whitfield County	97,331	13,367	13.73%
Catoosa County	63,441	939	1.48%
Columbia County	144,458	4,931	3.41%
Bibb County	142,913	2,909	2.03%
Houston County	145,032	4,365	3.01%

Factor 2: Frequency with which LEP individuals come in contact with programs, activities, or services.

GEMA/HS is the lead agency when disasters strike, meaning that GEMA/HS employees are at the front line of responding to emergencies and coordinating preparedness and recovery efforts. GEMA/HS directs the recovery efforts by the State and helps connect locals to the nonprofit organizations that want to offer assistance. Many of these organizations provide emergency housing and shelter, access to transportation, food banks, childcare services, and public health programs, as well as long-term housing and support. Therefore, as the leaders of recovery efforts, our Agency is responsible for properly understanding the needs of the community and making sure the necessary resources are being deployed. To accomplish this function, GEMA/HS employees must have resources available to communicate with the population in need by having interpreter services readily available. Therefore, any information GEMA/HS posts regarding Federal Financial Assistance must be disseminated and accessible to diverse racial, ethnic, and LEP populations.

GEMA/HS encourages all Subrecipients, organizations, and community leaders to regularly engage with the communities they serve, especially those that are LEP. GEMA/HS' goal is to foster relationships with community-based organizations and local service offices, like legal aid,

which have a more established relationship with underserved communities, like LEP persons, to disseminate resources and information.

GEMA/HS anticipates increased contact with LEP persons as natural disasters become more prevalent, emergency situations more frequently arise, and the minority populations within the state of Georgia continues to grow. Given this likely outcome, GEMA/HS must make all necessary preparations to develop products that non-English speakers can read and understand.

Factor 3: The nature and importance of the program, activity or service provided to the LEP population.

In general, after a disaster the affected constituency relies heavily on GEMA/HS to lead them to resources, programs, and benefits. GEMA/HS must ensure LEP persons have equitable contact with these resources, programs, and benefits. Therefore, during post-disaster recovery GEMA/HS will work with the hired consultant to encourage affected counties to identify language services during the planning process so that LEP persons in concentrated areas of a county are not experiencing denial or delay of access to services.

Factor 4: The resources available to GEMA/HS and the overall cost to provide assistance.

GEMA/HS will take all reasonable steps to ensure Meaningful Access to LEP persons when preparing and planning for disaster events and after such events occur. Reasonable steps include working with local LEP community organizations, key stakeholders, and other government agencies to assist with language assistance. GEMA/HS will also leverage existing relationships with community organizations, including faith-based service groups, community associations, and service nonprofits in GA Voluntary Organizations Active in Disaster.

GEMA/HS will maintain LEP maps so that the Agency is consistently updating language materials that reflect the most prevalent languages spoken in areas affected by disasters. The Agency intends to research ethnic centers and venues diverse communities visit so that recovery and benefit information reaches LEP populations. GEMA/HS will utilize its public platforms to post guidance and public service announcements in non-English languages.

Before, during, and after a disaster, GEMA/HS will coordinate with non-English media—in TV, print, and radio, as well as through online platforms and social media—to assist with sharing information to LEP populations.

Complaint Procedures

An employee, client, customer, program participant, or consumer of GEMA/HS or of a GEMA/HS Subrecipient may submit an LEP complaint concerning the implementation or administration of any GEMA/HS program, activity, or service. Any such individual has the right, and is encouraged, to file a written complaint with the Federal Emergency Management Agency’s (FEMA) Office of Equal Rights (OER), the DHS’s Office for Civil Rights and Civil Liberties (CRCL), or GEMA/HS.

1. If the complaint involves FEMA programs and activities, and programs and activities conducted by FEMA grant recipients, the complaint may be sent directly to FEMA OER by calling FEMA at 202-212-3535 and press 1 for Civil Rights, sending an email to FEMACivilRightsOffice@fema.dhs.gov, or by sending a written explanation to the FEMA OER.

The written explanation should be sent to:

FEMA's Office of Equal Rights
Civil Rights Section
500 C Street, SW
Room 4SW-0915
Washington, D.C. 20472

2. LEP complaints can also be sent to the DHS's Office for CRCL. There are three submission methods available. One method for submitting the complaint is via email: CRCLCompliance@hq.dhs.gov. A second available method is fax: 202-401-4708. The complaint may also be sent via mail to the following address:

U.S. Department of Homeland Security
Office for Civil Rights and Civil Liberties
Compliance Branch
245 Murray Lane, SW
Building 410, Mail Stop #0190
Washington, D.C. 20528

3. Additionally, LEP complaints can be sent directly to GEMA/HS. A complaint form can be downloaded from GEMA/HS' website and submitted by email to: language.access.coordinator@gema.ga.gov.

The completed form may also be sent to:

The Georgia Emergency Management and Homeland Security Agency
Language Access Coordinator
935 United Avenue SE
Atlanta, Georgia 30316

Language Assistance and Interpretation Services

GEMA/HS will improve its ability to identify LEP persons needing language assistance by:

1. Posting notice of the Plan and the availability of interpretation or translation services free of charge in languages LEP persons would understand at initial points of contact. GEMA/HS will display the language identification "I SPEAK" cards in all GEMA/HS offices and when traveling to any county or city when responding to an emergency or disaster.

2. All GEMA/HS field coordinators and front-facing staff will also be provided with “I Speak” cards to assist in identifying the language interpretation needed if the occasion arises.
3. All city staff will be informally surveyed periodically on their experience and frequency concerning any contacts with LEP persons during the previous year.

GEMA/HS will provide an opportunity for LEP persons to request an interpreter. Qualified foreign language interpreters will be provided by GEMA/HS, as needed. Whether or not an interpreter is used, there will always be information sheets available at headquarters, incident command centers, and at any point of contact GEMA/HS has with the community. These information sheets should always include questions and answers concerning the need for an interpreter. GEMA/HS will maintain a list of qualified interpreters or companies it contracts with to provide such interpreters. A qualified interpreter, which may include GEMA/HS personnel, means an interpreter who can interpret effectively, accurately, and impartially, using any specialized vocabulary.

Training

1. GEMA/HS will provide periodic training for all employees regarding:
 - a. Implementing the Plan’s procedures;
 - b. Understanding the requirements of Title VI of the Civil Rights Act, Executive Order 13166, and updates to federal guidance on LEP;
 - c. Locating and contacting language assistance services for GEMA/HS programs and Subrecipients’ programs, as needed;
 - d. Using “I Speak” cards and training Subrecipients to use them;
 - e. Preparing and testing communication strategies to ensure evacuation announcements and critical communications reach LEP populations;
 - f. Recording and responding to LEP complaints; and
 - g. Researching and updating population information so that GEMA/HS can best serve the current Georgia population.
2. GEMA/HS will facilitate LEP training for Subrecipients. Such training may be arranged:
 - a. In conjunction with grant management training;

- b. Online through the GEMA/HS website;
- c. At the request of the Subrecipient; or
- d. As a result of a grant program review.

Notification

GEMA/HS will post the Plan on the GEMA/HS website to notify all interested parties of the appropriate procedures for addressing complaints of discrimination concerning the implementation or administration of any program, activity, or service receiving Federal Financial Assistance from FEMA or DHS.

Complaint Procedures

GEMA/HS Procedures for Processing Complaint

1. A group of GEMA/HS employees will collectively act as the Language Access Coordinator for processing complaints made by individuals who believe they have been denied the benefits associated with this Plan.
2. If an employee, client, customer, program participant, or consumer of GEMA/HS or of a GEMA/HS Subrecipient contacts a GEMA/HS employee and wishes to file a complaint against GEMA/HS or a GEMA/HS Subrecipient concerning the implementation or administration of GEMA/HS any program, activity, or service involving the benefits of the Plan, the GEMA/HS employee shall instruct the complainant to file the complaint in writing, in accordance with the procedures above.
3. Any GEMA/HS employee receiving such a complaint submitted directly to GEMA/HS, and any GEMA/HS employee wishing to submit such a complaint directly to GEMA/HS, shall route it to the Language Access Coordinator. If the complaint is against an employee of GEMA/HS, the complaint shall be forwarded to the Language Access Coordinator.
4. For any complaint received by the Language Access Coordinator that is submitted directly to GEMA/HS, the Language Access Coordinator shall provide written acknowledgment of the complaint to the complainant.
5. The Language Access Coordinator shall refer the complaint to the appropriate entity, which may include the Georgia Office of the Attorney General, the OER, or the CRCL. If the Georgia Office of the Attorney General either is the agency about which the complaint is filed or has a conflict, the complaint shall be referred to the OER or CRCL, as appropriate.

6. Notwithstanding paragraph 5, for any LEP complaint concerning the implementation or administration of any program, activity, or service receiving Federal Financial Assistance from FEMA or DHS, GEMA/HS shall notify the OER or CRCL, as appropriate, in writing of the following:
 - a. Name of complainant;
 - b. Entity named in the complaint;
 - c. Description of the LEP complaint;
 - d. Steps being undertaken to investigate and resolve complaint; and
 - e. Interpretation resources to address the information or benefits the LEP person needed but did not receive.

In addition, GEMA/HS shall notify the complainant that they may file a complaint directly with the OER or CRCL, as appropriate, at the following address or using one of the electronic submission methods described above:

FEMA's Office of Equal Rights
Civil Rights Section
500 C Street, SW
Room 4SW-0915
Washington, D.C. 20472

U.S. Department of Homeland Security
Office for Civil Rights and Civil Liberties
Compliance Branch
245 Murray Lane, SW
Building 410, Mail Stop #0190
Washington, D.C. 20528

Monitoring Language Needs and Implementation

GEMA/HS will continuously monitor and track changes in LEP populations, including what regions might require new language training services and what non-English languages are increasing throughout the population of Georgia. As part of a grant program review, GEMA/HS staff will review the Subrecipients' procedures for adequately providing language assistance to LEP persons. If the procedures do not exist, or are found to need improvement, GEMA/HS staff will send those findings to Subrecipient. At a minimum, the Subrecipient's response procedures should include:

- a. Acknowledge complaint receipt to complainant in writing;
- b. Indicate which external agency the complaint is forwarded to for investigation;
- c. Comply with the appropriate timeframe by which to forward complaint;
- d. Notify GEMA/HS of complaint; and

- e. Notify complainant that a complaint of discrimination may be filed directly with the OER, CRCL, or GEMA/HS, and where to locate those procedures.

Additional Resources:

- **Georgia Department of Human Services (DHS)**
Contact the Limited English Proficiency / Sensory Impairment (LEP/SI) Program
Fax: (404) 657-1123
lepsi@dhs.ga.gov
2 Peachtree Street N.W.
Suite 29-103
Atlanta, GA 30303

- **Georgia Department of Community Affairs**
Attn: Christy Barnes, DCA LAP Coordinator
DCA 504 Coordinator
60 Executive Park South, N.E.
Atlanta, Georgia 30329-2231
fairhousing@dca.ga.gov
404-679-5291
https://www.dca.ga.gov/sites/default/files/dca_lap.pdf

- **iSpeak ATL**
<https://www.welcomingatlanta.com/ispeakatl/>
Mayor's Office of Immigrant Affairs
Suite 2400
55 Trinity Ave SE
Atlanta GA 303016
Email: ispeakATL@atlantaga.gov

- Interpreters Unlimited (In person only – 800-726-9891)
- Language Line Services (Telephonic or recording – 800-752-6096)
- LATN, Inc. (In-person or telephonic – 800-943-5286)
- Peach State Health Plan Interpreter & Translation Services
- Contractor Listing for Translation and Interpretation Services
- Contractor Listing for Linguistic Training and Education Services
- American Association of Language Specialists
- American Translators Association
- Federal LEP Website

Appendix 1: I Speak Card

I Speak...
Language Identification Guide

A

Amharic
እኔ አማርኛ ነው ምናገረው.

Arabic
أنا أتحدث اللغة العربية

Armenian
Ես խոսում եմ հայերեն

B

Bengali
আমি বাংলা কথা বলতে পারি

Bosnian
Ja govorim bosanski

Bulgarian
Аз говоря български

Burmese
ကျွန်တော်/ကျွန်မ မြန်မာ ဝို ဝို ဝိုဝတ်ဝတ် ဝိဝတ်ဝိ

C

Cambodian
ខ្ញុំនិយាយភាសាខ្មែរ

Cantonese
我講廣東話 (Traditional)
我讲广东话 (Simplified)

Catalan
Parlo català

Croatian
Govorim hrvatski

Czech
Mluvim česky

D

Danish
Jeg taler dansk

Dari
من دری حرف می زنم

Dutch
Ik spreek het Nederlands

E

Estonian
Ma räägin eesti keelt

F

Finnish
Puhun suomea

French
Je parle français

G

German
Ich spreche Deutsch

Greek
Μιλώ τα ελληνικά

Gujarati
હું ગુજરાતી બોલુ છું

H

Haitian Creole
M pale kreyòl ayisyen

Hebrew
אני מדבר עברית

Hindi
मैं हिंदी बोलता हूँ ।

Hmong
Kuv has lug Moob

Hungarian
Beszélék magyarul

I

Icelandic
Ég tala íslensku

Ilocano
Agsanak ti Ilokano

Indonesian
saya bisa berbahasa Indonesia

Italian
Parlo italiano

J

Japanese
私は日本語を話す

K

Kacchiquel
Quin ch'ag'üic ká ch'ábal' ruin' ri

Korean
한국어 합니다

Kurdish
man Kurdiî zaanim

Kurmanji
man Kurmaanjî zaanim

L

Laotian
ຂ້ອຍປາກົດພາສາລາວ

Latvian
Es runāju latviski

Lithuanian
Aš kalbu lietuviškai

Q

Qanjobal
Ayin ti chí wal q' anjob' al

Quiche
In kinch'aw k'uin ch'e quiche

R

Romanian
Vorbesc românește

Russian
Я говорю по-русски

S

Serbian
Ja govorim српски

Sign Language

Slovak
Hovorím po slovensky

Slovenian
Govorim slovensko

Somali
Waxaan ku hadlaa af-Soomaali

Spanish
Yo hablo español

Swahili
Ninaongea Kiswahili

Swedish
Jag talar svenska

T

Tagalog
Mamunong akong mag-Tagalog

Tamil
நான் தமிழ் பேசுவேன்

Thai
พูดภาษาไทย

Turkish
Türkçe konuşurum

U

Ukrainian
Я розмовляю українською мовою

Urdu
میں اردو بولتا ہوں

V

Vietnamese
Tôi nói tiếng Việt

W

Welsh
Dwi'n siarad

X

Xhosa
Ndithetha isiXhosa

Y

Yiddish
איך רעד יידיש

Yoruba
Mo nso Yooba

Z

Zulu
Ngiyasikhuluma isiZulu

Executive Order 13166 requires DHS to take reasonable steps to provide meaningful access to its programs and activities for persons with limited English proficiency and - as also required by Title VI of the Civil Rights Act of 1964 - to ensure that recipients of federal financial assistance do the same.

I Speak is provided by the Department of Homeland Security Office for Civil Rights and Civil Liberties (CRCL). Other resources at www.lep.gov

Contact the DHS Office for Civil Rights and Civil Liberties' CRCL Institute at CRCLTraining@dhs.gov for digital copies of this poster or a "I Speak" booklet.

Download copies of the DFIS LEP plan and guidance to recipients of financial assistance at www.dhs.gov/crcl



Georgia Emergency Management and Homeland Security Agency

LIMITED ENGLISH PROFICIENCY COMPLAINT FORM

The purpose of this document is to help you file a Limited English Proficiency (LEP) complaint concerning the implementation or administration of any program, activity, or service receiving federal financial assistance, whether within the Georgia Emergency Management and Homeland Security Agency (GEMA/HS) or a sub-recipient. This document is not intended to be used for complaints about employment with GEMA/HS. You are not required to use this document to file a complaint; a letter with the same information is sufficient. However, if you file a complaint by letter, you should include the same information that is requested herein.

1. Information about the person who is filing the LEP complaint:

Name: _____
First and Middle (Given Name) Last (Family Name/Surname)

Phone #: Cell/Mobile: _____ Home: _____ Work: _____

Mailing Address: _____
P.O. Box or Street Address City State Zip Code

Email (Optional): _____

2. Information about the person(s) who failed to properly provide information to the LEP person:

Name: _____
First and Middle (Given Name) Last (Family Name/Surname)

Phone #: Cell/Mobile: _____ Home: _____ Work: _____

Mailing Address: _____
P.O. Box or Street Address City State Zip Code

3. Information about the agency or organization involved:

Name: _____

Phone #: _____

Mailing Address: _____
P.O. Box or Street Address City State Zip Code

- 4. Are there other individuals or organizations involved in this LEP complaint?**
 Yes
 No

If yes, please provide their name, telephone number, and address below:

Name: _____

Phone #: _____

Mailing Address: _____
P.O. Box or Street Address City State Zip Code

- 5. Describe the nature of the interaction and any suspected violations:**

- 6. Explain in detail what happened, when, and how the person(s) or entity denied meaningful access to a GEMA/HS or sub-recipient service, activity, program, or other benefit.**

- 7. What other information do you think might be helpful to an investigation?**

- 8. Please list below any persons (witnesses, people involved, or others) who have direct knowledge of the situation that might be able to provide information to support or clarify the complaint:**

Name: _____

Phone #: _____

Mailing Address: _____
P.O. Box or Street Address City State Zip Code

9. Have you or others filed a case or complaint regarding this allegation with any of the following?

- Office of Equal Rights, Federal Emergency Management Agency
- Office for Civil Rights and Civil Liberties, U.S. Department of Homeland Security
- U.S. Equal Employment Opportunity Commission
- Other Federal Agency
- Federal or State Court
- Other State of Georgia Agency, Authority, or Office
- Other: _____

10. Issues with:

- Spanish (Español)
- Chinese 中国人
- Korean 한국어
- Vietnamese Tiếng Việt
- French (Français)
- Arabic العربية
- Lack of signs informing the public of interpretation and translation
- Lack of forms/materials/notices in a language I can understand
- I was not offered an interpreter
- I asked for an interpreter and was denied
- Lack of bilingual personnel, so delay in services
- The interpreter's skills were not good
- I was unable to use the services, programs, or activities

11. Information about the person filing this complaint, if the complaint is being submitted on behalf of another:

Name: _____
First and Middle (Given Name) Last (Family Name/Surname)

Phone #: Cell/Mobile: _____ Home: _____ Work: _____

Mailing Address: _____
P.O. Box or Street Address City State Zip Code

Email (Optional): _____

Signature: _____ **Date:** _____

You may submit the form by email to language.access.coordinator@gema.ga.gov.

Or send via U.S. Mail to the following address:

Georgia Emergency Management and Homeland Security Agency
Attention: Language Access Coordinator
P.O. Box 18055
Atlanta, Georgia 30316



THE GEORGIA EMERGENCY MANAGEMENT AND HOMELAND SECURITY AGENCY

Responding to Discrimination Complaints Relating to Federal Grant Programs

2022

Purpose

The intent of this policy is to ensure that subrecipients which receive grant funds from the Georgia Emergency Management and Homeland Security Agency (GEMA/HS) do not discriminate against any client, customer, program participant, employee, or consumer based on race, color, religion, sex, national origin, age, English proficiency, or physical or mental disability. This policy establishes the procedures for GEMA/HS employees to follow when they receive or wish to make a complaint alleging discrimination concerning the implementation or administration of any program, activity, or service receiving federal financial assistance from the U.S. Department of Justice (DOJ) or the U.S. Department of Homeland Security (DHS), whether within GEMA/HS or a subrecipient.

Post Office Box 18055 • Atlanta, Georgia 30316-0055
(404) 635-7200 • Toll Free in Georgia 1-800-TRY-GEMA • gema.ga.gov

Complying with Laws and Policies that Prohibit Discrimination

GEMA/HS shall comply with all applicable federal and state laws, rules, and regulations prohibiting discrimination. GEMA/HS shall appropriately address all complaints from any person who believes that a GEMA/HS subrecipient has discriminated against them in violation of federal and/or state law or regulation in the delivery of services or benefits.

Policy

All employees, job applicants, clients, customers, program participants, and consumers of GEMA/HS and its subrecipients shall be treated equally regardless of race, color, religion, national origin, age, English proficiency, or physical or mental disability, sexual orientation, or gender identity.

Individuals have the right to participate in programs, activities, and services operated by GEMA/HS and its subrecipients without discrimination. Statutes and regulations that apply include, but are not limited to, the following:

1. Title VI of the Civil Rights Act of 1964, which prohibits discrimination on the basis of race, color, or national origin in the delivery of services (42 U.S.C. § 200d), and the DOJ implementing regulations at 28 C.F.R. Part 42, Subpart C and D, and DHS implementing regulations at 6 C.F.R. Part 21 and 44 C.F.R. Part 7;
2. Section 504 of the Rehabilitation Act of 1973, which prohibits discrimination on the basis of disability in the delivery of services and employment practices (29 U.S.C. § 794), and the DOJ implementing regulations at 28 C.F.R. Part 42, Subpart G;
3. Titles I, II, and III of the Americans with Disabilities Act of 1990, which prohibit discrimination on the basis of disability in the delivery of services and employment practices (42 U.S.C. § 12101-12213 and § 12131-34), and the DOJ implementing regulations at 28 C.F.R. Part 35;
4. Title IX of the Education Amendments of 1972, which prohibit discrimination on the basis of sex in educational programs (20 U.S.C. § 1681), the DOJ implementing regulations at 28 C.F.R. Part 42, Subpart D and 28 C.F.R. Part 54, and the DHS implementing regulations at 6 C.F.R. Part 17 and 44 C.F.R. Part 19;
5. The Age Discrimination Act of 1975, which prohibits discrimination on the basis of age in the delivery of services (42 U.S.C. § 6102), and the DOJ implementing regulations at 28 C.F.R. Part 42, Subpart I;
6. Title VIII of the Civil Rights Act of 1968, which prohibits recipients from discriminating in the sale, rental, financing, and advertising of dwellings, or in the provision of services

in connection therewith, on the basis of race, color, national origin, religion, disability, familial status, and sex (42 U.S.C. §3601);

7. The Omnibus Crime Control and Safe Streets Act of 1968, which prohibits discrimination on the basis of race, color, national origin, religion, or sex in the delivery of services and employment practices (34 U.S.C. §10228(c), see also 34 U.S.C. §11182(b)), and the DOJ implementing regulations at 28 C.F.R. Part 42, Subpart D;
8. The DOJ regulations on the Equal Treatment for Faith-Based Organizations, which prohibit discrimination on the basis of religion in the delivery of services and prohibit organizations from using DOJ funding on inherently religious activities (28 C.F.R. Part 38);
9. The Victims of Crime Act (VOCA) of 1984, which prohibits discrimination based on race, color, religion, national origin, handicap, or sex (34 U.S.C. §20110(e));
10. The Violence Against Women Act (VAWA) of 2013, which prohibits discrimination on the basis of actual or perceived race, color, religion, national origin, sex, gender identity, sexual orientation, or disability (34 U.S.C. §12291(b)(13));
11. The DHS regulation, which prohibits discrimination based on religion in social service programs (6 C.F.R. Part 19);
12. Executive Order 13166, “Improving Access To Services For Persons With Limited English Proficiency”, which requires Federal agencies to develop and implement a plan to provide services to those persons with limited English proficiency (LEP) to ensure meaningful access to programs and activities conducted by those agencies;
13. Georgia’s Fair Employment Practices Act of 1978, found at O.C.G.A. § 45-19-29, et seq., which prohibits public employers with 15 or more employees from engaging in discrimination on account of an individual's race, color, religion, sex, age, national origin, or disability;
14. Georgia’s Sex Discrimination in Employment Act of 1966, found at O.C.G.A. § 34-5-1, et seq., which mimics the Equal Pay Act of 1963, in that it prohibits discrimination between employees in the same establishment, on the basis of sex, in their compensation for comparable work;
15. Georgia’s General Age Discrimination Law of 1971, found at O.C.G.A. § 34-1-2, which makes it a criminal misdemeanor to discriminate against any person between the ages of 40 and 70 years, solely upon the ground of age, when the reasonable demands of the position do not require such an age distinction. The individual must be qualified physically, mentally, and by training and experience to perform satisfactorily the labor assigned to him or her for which he or she applies;

16. Georgia's Equal Employment for Persons with Disabilities Code of 1981, found O.C.G.A. § 34-6A-1, et seq., which mimics the Rehabilitation Act of 1973 and the Americans with Disabilities Act of 1990, as amended, in that it prohibits discrimination because of an individual's disability with respect to wages, rates of pay, hours, or other terms and conditions of employment because of such person's disability unless such disability restricts that individual's ability to engage in the particular job or occupation for which he or she is eligible. The Code has no administrative prerequisites to filing suit; and
17. Atlanta Ordinance No. 2000-79, § 1, which applies to employers located within the City of Atlanta with ten or more employees. The Ordinance prohibits employment discrimination based on race, color, creed, religion, sex, domestic relationship status, parental status, familial status, sexual orientation, national origin, gender identity, age, or disability.

Definitions

Complaint Coordinator: A person or persons designated by GEMA/HS to ensure that received complaints are acted upon in a timely manner.

Discrimination: The treatment or consideration of, or making a distinction in favor of or against, a person based on the person's legally recognized protected category (including race, color, national origin, gender, age, sexual orientation, gender identity, religion, English proficiency, or disability) to which that person belongs rather on individual merit. There are various federal and state laws and rules that further describe the specific types of discrimination.

Retaliation: The act of harassing, threatening, demoting, firing, or otherwise negatively targeting a complainant as a direct result of the complainant opposing unlawful discrimination.

Subrecipient: A non-Federal entity that receives a grant sub-award from GEMA/HS to carry out part of a Federal program. A subrecipient does not include an individual that is a beneficiary of such a program.

Complaint Procedures

An employee, client, customer, program participant, or consumer of GEMA/HS or of a GEMA/HS subrecipient may submit a complaint of discrimination concerning the implementation or administration of any program, activity, or service receiving federal financial assistance from the DOJ or DHS on behalf of him/herself or on behalf of another. Any such individual has the right, and is encouraged, to file a written complaint with the Office for Civil Rights in the DOJ (OCR), the DHS's Office for Civil Rights and Civil Liberties (CRCL), or GEMA/HS.

1. If the relevant federal grant is funded by the DOJ, the complaint may be sent directly to the OCR using the *Complaint Verification Form* and *Identity Release Statement*, which are available at: <https://www.ojp.gov/program/civil-rights/filing-civil-rights-complaint>.

The completed forms should be sent to:

Office for Civil Rights Office of
Justice Programs
U.S. Department of Justice 810
Seventh Street NW Washington,
D.C. 20531

2. If the relevant federal grant is funded by the DHS, the complaint may be sent directly to the DHS's Office for CRCL. There are three submission methods available. One method for submitting the complaint is via email: CRCLCompliance@hq.dhs.gov. A second available method is fax: 202-401-4708. The complaint may also be sent via mail:

U.S. Department of Homeland Security Office for
Civil Rights and Civil Liberties Compliance Branch
245 Murray Lane, SW Building 410,
Mail Stop #0190
Washington, D.C. 20528

3. For federal grants funded by either DOJ or DHS, the complaint may also be submitted directly to GEMA/HS. A complaint form can be downloaded from GEMA/HS' website and submitted by email to: Grantscomplaintcoordinator@gema.ga.gov. The completed form may also be sent to:

The Georgia Emergency Management and Homeland Security Agency
Grants Complaint Coordinator
935 United Avenue SE
Atlanta, Georgia 30316

Additional Agencies for Filing Discrimination Complaints

In addition to the option for filing a discrimination complaint with GEMA/HS, the OCR, or the CRCL, discrimination complaints may be filed directly with a court, as well as the following state and federal administrative agencies, whose function is to enforce state and federal laws that prohibit discrimination:

- Equal Employment Opportunity Commission (EEOC)
<http://www.eeoc.gov/employees/charge.cfm>
- Georgia Commission on Equal Opportunity (GCEO)
<https://gceo.georgia.gov/>

GEMA/HS Procedures for Processing Complaint

1. A group of GEMA/HS employees will collectively act as the Complaint Coordinator for processing complaints of discrimination associated with this policy.
2. If an employee, client, customer, program participant, or consumer of GEMA/HS or of a GEMA/HS subrecipient contacts a GEMA/HS employee and wishes to file a complaint against GEMA/HS or a GEMA/HS subrecipient concerning the implementation or administration of any program, activity, or service receiving federal financial assistance from the DOJ or DHS, the GEMA/HS employee shall instruct the complainant to file the complaint in writing, in accordance with the procedures above.
3. Any GEMA/HS employee receiving such a complaint submitted directly to GEMA/HS, and any GEMA/HS employee wishing to submit such a complaint directly to GEMA/HS, shall route it to the Complaint Coordinator. If the complaint is against an employee of GEMA/HS, the complaint shall be forwarded to the Complaint Coordinator and that GEMA/HS employee should follow the procedures set out in HR-14, GEMA/HS's Grievance Procedures Policy.
4. For any complaint received by the Complaint Coordinator that is submitted directly to GEMA/HS, the Complaint Coordinator shall provide written acknowledgment of the complaint to the complainant.
5. The Complaint Coordinator shall refer the complaint to the appropriate entity, which may include the Georgia Office of the Attorney General; the GCEO; the EEOC; the OCR; or the CRCL. If the Georgia Office of the Attorney General either is the agency about which the complaint is filed or has a conflict, the complaint shall be referred to the EEOC, OCR, or CRCL, as appropriate.
6. Notwithstanding paragraph 5, for any complaint of discrimination concerning the implementation or administration of any program, activity, or service receiving federal financial assistance from the DOJ or DHS, GEMA/HS shall notify the OCR or CRCL, as appropriate, in writing of the following:
 - a. Name of complainant
 - b. Entity named in the complaint
 - c. Description of the complaint of discrimination
 - d. Steps being undertaken to investigate and resolve complaint

In addition, GEMA/HS shall notify the complainant that they may file a complaint directly with the OCR or CRCL, as appropriate, at the following address or using one of the electronic submission methods described above:

Office for Civil Rights Office of
Justice Programs
U.S. Department of Justice 810
Seventh Street NW Washington,
D.C. 20531

U.S. Department of Homeland Security Office for
Civil Rights and Civil Liberties Compliance Branch
245 Murray Lane, SW Building 410,
Mail Stop #0190
Washington, D.C. 20528

Notification

GEMA/HS will post this policy on the GEMA/HS website to notify all interested parties of the appropriate procedures for addressing complaints of discrimination concerning the implementation or administration of any program, activity, or service receiving federal financial assistance from the DOJ or DHS.

Monitoring Subrecipients' Response Procedures

As part of a grant program review, GEMA/HS staff will review the subrecipient's procedures for responding to discrimination complaints that employees, clients, customers, program participants, or consumers of the subrecipients have filed directly with the subrecipient. If the procedures do not exist, or are found to need improvement, the report to the subrecipient will note the findings. At a minimum, the subrecipient's response should:

- a. Acknowledge complaint receipt to complainant in writing;
- b. Indicate which external agency the complaint is forwarded to for investigation;
- c. Comply with the appropriate timeframe by which to forward complaint;
- d. Notify GEMA/HS of complaint; and
- e. Notify complainant that a complaint of discrimination may be filed directly with the OCR, CRCL, EEOC, GCEO, or GEMA/HS, and where to locate those procedures.

Training

1. GEMA/HS will provide periodic training for all employees regarding the discrimination complaint procedures.
2. GEMA/HS will facilitate civil rights requirements training for subrecipients. Such training may be arranged:

- a. In conjunction with grant management training;
- b. Online through the GEMA/HS website;
- c. At the request of the subrecipient; or
- d. As a result of a grant program review.



THE GEORGIA EMERGENCY MANAGEMENT AND HOMELAND SECURITY AGENCY COMPLAINT VERIFICATION FORM

The purpose of this document is to help you file a discrimination complaint concerning the implementation or administration of any program, activity, or service receiving federal financial assistance from the U.S. Department of Justice or the U.S. Department of Homeland Security, whether within the Georgia Emergency Management and Homeland Security Agency (GEMA/HS) or a subrecipient. This document is not intended to be used for complaints about employment with GEMA/HS. You are not required to use this document to file a complaint; a letter with the same information is sufficient. However, if you file a complaint by letter, you should include the same information that is requested herein.

18. Information about the person who experienced the alleged discrimination:

Name: _____

First and Middle (Given Names)

Last (Family Name/Surname)

Phone #: Cell/Mobile: _____ Home: _____ Work: _____

Mailing Address: _____

P.O. Box or Street Address

City

State

Zip

Email (optional): _____

19. Information about the person(s) who is alleged to have discriminated:

Name: _____

First and Middle (Given Names)

Last (Family Name/Surname)

Phone #: Cell/Mobile: _____ Home: _____ Work: _____

Mailing Address: _____

P.O. Box or Street Address

City

State

Zip

20. Information about the agency or organization involved:

Name: _____

Phone #: _____

Mailing Address: _____

P.O. Box or Street Address

City

State

Zip

21. Are there other individuals or organizations involved in this discrimination complaint?

Yes No

If Yes, please provide their name, address, and telephone number below: Name

Address

Telephone

22. Describe the nature of the alleged discrimination involved.

23. Explain in detail what happened, when, and how the alleged discrimination occurred.

State who was involved, and how other persons were treated differently.

24. What other information do you think might be helpful to an investigation?

25. Please list below any persons (witnesses, fellow employees, supervisors, or others) who have direct knowledge of the situation that might be able to provide information to support or clarify the complaint:

Name

Address

Telephone #

26. Have you or others filed a case or complaint regarding this allegation with any of the following?

- | | |
|--|--|
| <input type="checkbox"/> Office for Civil Rights within the Office of Justice Programs, U.S. Department of Justice | <input type="checkbox"/> Office for Civil Rights and Civil Liberties, U.S. Department of Homeland Security |
| <input type="checkbox"/> U.S. Equal Employment Opportunity Commission | <input type="checkbox"/> Other Federal Agency |
| <input type="checkbox"/> Federal or State Court | <input type="checkbox"/> Georgia Department of Labor |
| <input type="checkbox"/> Other | |

If any of the above were selected please provide the following information:

Name of Agency:

Date Filed:

Case or Docket Number:

Date of Trial/Hearing:

Location of Agency/Court:

Investigator:

Status of case:

27. Information about the person filing this complaint, if this complaint is being submitted on behalf of another:

Name: _____
First and Middle (Given Names) Last (Family Name/Surname)

Phone #: Cell/Mobile: _____ Home: _____ Work: _____

Mailing Address: _____
P.O. Box or Street Address City State Zip

Email (optional): _____

Signature: _____

Date: _____

You may submit the form by email to: Grantscomplaintcoordinator@gema.ga.gov

Or send via U.S. mail to:

The Georgia Emergency Management and Homeland Security Agency
Attention: Grants Complaint Coordinator 935 United Avenue SE
Atlanta, Georgia 30316

EXHIBIT "G"

Federal Funding Accountability and Transparency Act Certification

In order to remain in compliance with The Federal Funding Accountability and Transparency Act of 2006 (FFATA) reporting, complete Items 1-7 and Items 8-10 if necessary, and certify by an authorized agent.

Sub-award Number: 4501 F86 S72
Federal Agency Name: Federal Emergency Management Agency
CFDA Program Number and Program Title: 97.039 Hazard Mitigation Grant Program (HMGP)
Sub-award Project Description: Multi-Jurisdictional Hazard Mitigation Plan

1. Sub-awardee DUNS Number _____
2. Sub-awardee Name _____
3. Sub-awardee DBA Name _____
4. Sub-awardee Address _____
5. If DBA, Sub-awardee Parent DUNS Number _____
6. Sub-award Principle Place of Project Performance _____
7. In the preceding fiscal year, did the sub-awardee receive 80% of its annual gross revenues from the Federal government?
Yes _____ No _____
If **Yes**, continue to question 8. If **No**, questionnaire is complete.
8. In the preceding fiscal year, were the sub-awardee's annual gross revenues from the Federal government more than \$25 million annual? Yes _____ No _____
If **Yes**, continue to question 9. If **No**, questionnaire is complete.
9. Does the public have access to the names and total compensation of the sub-awardee's five most highly compensated officers through periodic reports filed under section 13(a) or 15(d) of the Securities Exchange Act of 1934 (15 U.S.C. §§ 78m(a), 78o(d)) or section 6104 of the Internal Revenue Code of 1986?
Yes _____ No _____
If **No**, continue to question 10. If **Yes**, questionnaire is complete.

10. Please list the names and compensation of the sub-awardee's five most highly compensated officers.

1. _____ \$ _____
2. _____ \$ _____
3. _____ \$ _____
4. _____ \$ _____
5. _____ \$ _____

I certify that to the best of my knowledge all of the information on this form is complete and accurate.

Authorized Signature: _____ Date: _____

This section is for use by the Georgia Emergency Management Agency/Homeland Security Only.

Sub-award Obligation/Agency Name: _____

In accordance with The Federal Funding Accountability and Transparency Act of 2006 (FFATA), this document has been processed in the FFATA Sub-award Reporting System (FSRS) by the undersigned:

Signature _____ Date: _____

Sub-award Obligation/Action Date: _____



WHITE COUNTY

Board of Commissioners

Item Title: Station Renovations - Fire Station 4 & 6

For Meeting Date: 3/25/2024

Work Session **Regular Meeting** **Public Hearing**

Category (Select One): SPLOST Request

Submitted By: David L. Murphy, Jr. Public Safety Director

Attachments: Yes **If yes, please list each file name below:**

1. Fire Reno Bid Docs
2. Fire Reno Low Bid Doc
3. _____

Purpose:

To complete renovations at Fire Stations 4 and 6 for to improve living quarters for full-time 24 hour staff including male and female firefighters.

Background / Summary:

- Fire Stations originally built to support volunteer firefighters.
- White Co Stations 4 & 6 are now 24 Hour Career Stations.
- Fire Station renovations will support the 24 hour staff and genders.

Department Recommendation:

Approve lowest bid to Dream Garage Builders

Options:

- Do not authorize.

Budget Information: Applicable Not Applicable

Budgeted: Yes No

Finance Director's Comments (if applicable):

-

County Manager Comments:

-



March 6, 2024

Bid For RFP Project# 2023-WCFS-Renovation

To the Chief, Staff and Citizens served by White County Fire,

My name is Brian Cohen. I am the owner of Dream Garage Builders. It my pleasure to present to you a bid for the renovation of Fire Stations Number 4 and 6. Dream Garage Builders is a values driven company dedicated to Creating spaces where people can find solace, build community, and experience joy. We are firmly committed to doing the highest quality of work possible while offering high level responsiveness, care, and focus on the customer's needs. Every space we build is tailored to the specific needs and desires of the customer, regardless of project size or cost. As a former full-time firefighter, I have spent 10's of thousands of hours in fire stations and know how much the environment you live in when at work at the fire service directly impacts you personally and in turn, impacts how you are able to service the citizens of your municipality. It is my commitment and my passion to provide a space where the men and women of the White County Fire Services feel comfortable and welcome so they can focus on the protection of those they are sworn to Protect. As a property owner in White County, we are further vested in the interests of the county and are grateful for the investment by the county into the infrastructure of White County Fire Services.

Dream Garage Builders specializes in custom garage building, renovation, and repair. We are familiar with construction and modification of steel exterior structure with interior finishing consistent with the construction of Fire Stations 4 and 6. We are commercially insured and licensed as a permit agent under J Tim Elrod Construction (License number RLCI000610) for Residential and Light Commercial Construction up to 4 stories high and 25,000sf wood framed or 50,000 steel framed buildings. All work is overseen and directed by myself and Tim Elrod whom have a combined experience over 40 years of experience in construction. We use only

6150 Old Still Run Rd
Gainesville, GA 30506
(706) 329-1830
Brian@onlygarages.com



vettted, insured, and licensed (when applicable) subcontractors to execute all aspects of construction to achieve the highest fit, finish, timing, and delivery of all projects. We hold General Liability as required by law. Our subcontractors are required to provide individual GL coverage as well as workers compensation as applicable under state law. We will verify and comply with all insurance requirements for White County including acquiring and/or modifying insurance coverage necessary.

Attached you will find completed documentation as required by the RFP. Also included are specific pricing quote sheets for each different space in the job. Each is divided into a work flow based itemization that allows for easy digestion of the different aspects of the job but also included significant detail as to the scope of work to be performed. Please also note where I have made notes based on calculations in the absence of available documentation that was requested as well as areas where notation for addition of work may be requested. As this process had to be rebid and the scope changed, I was also able to gather some competing bids and submit a more competitive bid. ***I am pleased to present Dream Garage Builders revised bid for all aspects of the project at \$128,593.94.***

Sincerely,

Brian Cohen

Owner

Brian Cohen Properties, LLC dba Dream Garage Builders

6150 Old Still Run Rd
Gainesville, GA 30506
(706) 329-1830
Brian@onlygarages.com

Dream Garage Builders

6150 Old Still Run Road | Gainesville, Georgia 30506
 706-329-1830 | brian@onlygarages.com | www.onlygarages.com

RECIPIENT:

White County Fire Services

1650 Westmoreland Road
 Cleveland, Georgia 30528

Quote #4

Sent on _____

Total \$15,260.01

Product/Service	Description	Qty.	Unit Price	Total
Station 4 Renovation- Phase 1- EMS Side	The following Line Items Pertain to renovation of Station 4 per the specifications of the RFP and the Chief.			
Demo 3 New Doorways and ceiling	Demolition of damaged ceiling and ceiling texture, crown molding, and any other needed items to clear for framing of new bunkrooms. May include sections of ceiling for HVAC movement .	4	\$220.00	\$880.00
Framing	Framers shall erect necessary walls to create 2 new bunk rooms per the specification. 17 Linear Feet	13.6	\$75.00	\$1,020.00
Electrical - Outlets and switches	Licensed professional Electrician shall add outlets to walls of bunk rooms and shall add light and light switch for each bunk room, as well as for the hallway. Electrician shall utilized existing switch locations when possible. **** Price assumes that wall construction of interior walls are wood framed. If metal studs are present, a \$800 contingency will be executed per code which dictates that romex is unacceptable and NM cable is required.	5	\$215.00	\$1,075.00
HVAC Drop to New Bunks	HVAC contractor shall run output register to each of the newly created bunk rooms.	2	\$750.00	\$1,500.00
Insulation and Drywall	Insulation shall be installed and drywall will then be professionally hung and finished to all new and modified walls in new bunk rooms and new hall.	28	\$125.00	\$3,500.00
Interior Trim Work	2 new doors shall be trimmed and hung with hollow core 6 panel doors and trim consistent with existing. New baseboard will be hung on all walls in bunk rooms and new hallway Contractor will make every effort to match existing trim if available. In the event trim is no longer available, closest available version will be installed.	4	\$828.94	\$3,315.76
Interior Painting	All walls and trim shall be puttied, prepped, and painted. This shall include priming newly installed walls, doors, and trim and repainting all existing doors, ceiling, walls, trim, interior face windows. Walls in day room and kitchen shall be painted also. (trim and ceiling in day room and kitchen shall remain untouched)	0	\$0.00	\$2,400.00

Dream Garage Builders

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 706-329-1830 | brian@onlygarages.com | www.onlygarages.com

Product/Service	Description	Qty.	Unit Price	Total
Finish Electrical	Licensed Professional Electrician shall Install 2 wafer can lights (one in each of the bunk rooms), 2 wafer light in the hallway, and install all switch plates for added and/or modified switches and outlets. *****All other lights shall remain as is and unmodified. If customer wishes to modify or add any lighting, change order may be requested by the customer on a cost plus 20% basis.	3	\$215.00	\$645.00
Electrical Fixtures	4 wafer can lights	1	\$231.25	\$231.25
Finishing, Cleaning, and Punch List	Finishing shall include small items necessary for function such as installation of door knobs, etc Jobsite shall be left broom clean and shall dispose of all construction related trash. Contractor shall have 1 business day after all punch list items have been finished and accepted by the customer to removed Dumpster/dump trailer. Punch List shall be generated in conjunction with the customer. The Contractor will collate items that need to be adjusted or touched up and shall coordinate subcontractors/vendors to address all issues in all areas of work at one time.	7	\$99.00	\$693.00
Dumpster/Dump Trailer	Onsite delivery and removal including one extra dump for 7 weeks. *****Shared cost between different sections of renovations on station 4. Contractor reserves the right to extend the fee on a weekly basis if the customer elects to execute the work over a longer period than the 45 days specified in the RFP.	0	\$540.00	\$0.00

Total **\$15,260.01**

This quote is valid for the next 30 days, after which values may be subject to change.

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RECIPIENT:

White County Fire Services

1650 Westmoreland Road
 Cleveland, Georgia 30528

Quote #2

Sent on _____

Total **\$51,353.65**

Product/Service	Description	Qty.	Unit Price	Total
Station 4 Renovation- Phase 2- Fire Side - Kitchen & Downstairs	The following Line Items Pertain to renovation of Station 4 the specifications of the RFP.			
Demo of Existing Kitchen	Cabinets shall be removed and disposed of. Plumbing, electrical connections shall remain. ****Cabinets to be emptied of all contents prior to start of renovation by Client	6.5	\$155.00	\$1,007.50
Demo 3 New Doorways; kitchen wall	Demolition of existing walls shall be executed to create 3 new doorways and to remove existing doors to accommodate modifications of the floor plan. Short wall and pantry next to cabinets will be removed to accommodate new cabinetry/fridge.	6	\$220.00	\$1,320.00
Bathroom Demo	Existing Sink in bathroom shall be removed and disposed of. Toilet shall be removed in conjunction with flooring demo.	3	\$125.00	\$375.00
Flooring Prep and demo	Floors shall be evaluated and prepped for new floor to include minimal leveling. Per request, New floor shall be installed over existing floor where possible. Carpet removed. Any area that installation above existing is not possible, a change order shall be submitted and professional machinery and technicians shall be employed to remove existing flooring thought the finished are inside the station to prepare for new floor plan and new flooring. Shall include scraping and chemical removal.	768	\$1.44	\$1,105.92
Framing- Bunks	Framers shall erect necessary walls to create 3 new bunk rooms per the specification. 28 Linear Feet	26.2	\$75.00	\$1,965.00

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Product/Service	Description	Qty.	Unit Price	Total
Electrical - Bunk rooms Outlets and switches	<p>Licensed professional Electrician shall add outlets to walls of bunk rooms and shall add light and light switch for each bunk room. Electrician shall utilized existing switch locations when possible. Layout shall include wiring a high and low outlet for entertainment center on the designated wall.</p> <p>****Any modifications of cable, internet, ethernet, or any other system outside of the electrical system shall be either the responsibility of the customer, public works, or shall be added by change order.</p> <p>**** Price assumes that wall construction of interior walls are wood framed. If metal studs are present, a \$2000 contingency will be executed per code which dictates that romex is unacceptable and wiring would be required to be NM cable.</p>	13	\$215.00	\$2,795.00
Wire for Appliances	<p>Licensed Professional Electrician shall run 220v for addition of Electric Range to be located on common wall between kitchen and bay. A dedicated microwave circuit shall also be run for above range microwave. Both runs shall be encased in conduit when in unfinished areas, and enclosed behind drywall in finished areas whenever possible.</p> <p>*****If wiring or loads have been altered between bid visit and start of job, estimate shall be obtain and change order executed for required changes.</p>	30	\$75.00	\$2,250.00
HVAC Addition	<p>HVAC Contractor shall add output registers to 1 bunk room. Return shall be exchanged in existing location for 12"x14" filtered return</p> <p>*****No modification to system shall be included. If system is undersized or unable to handle new load, estimate for bringing system up to spec shall be obtained and change order executed.</p>	2	\$750.00	\$1,500.00
Kitchen Plumbing Prep	<p>Licensed Plumber shall prepare existing water and drain for new sink and cabinetry which shall include adding a water line for the refrigerator.</p> <p>****Per request, the sink location shall remain in the same place as existing. This quote does not include movement or modification of the plumbing.</p>	4	\$210.00	\$840.00
Vent Hood Addition	<p>Installation of ventilation for new vent hood (provided by customer).</p>	3	\$125.00	\$375.00

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Product/Service	Description	Qty.	Unit Price	Total
Insulation and Drywall	All newly constructed walls be insulated with batts. Drywall will then be professionally hung and finished to all new and modified walls and to fill in any ceiling gap created by floor plan modification. ****Existing Ceiling shall remain intact otherwise.	30	\$125.00	\$3,750.00
Interior Trim Work	All 3 new doors shall be trimmed and hung with hollow core 6 panel doors and trim consistent with existing. Contractor will make every effort to match existing trim if available. In the event trim is no longer available, closest available version will be installed.	3	\$828.94	\$2,486.82
Kitchen Cabinetry	New kitchen cabinets shall be professionally installed and set in L-shaped orientation and separate 8 foot section on the "D" wall, as specified. Cabinet layout is attached and shall include cutouts for range, dishwasher, upper cabinet mounted microwave, and 32" refrigerator. Laminate style countertops similar to existing shall be installed with cabinetry. See attached rendering. Rendering is estimated lengths and measurements by cabinet designer for fit and function of the room. Final shall be determined at contract and when customer has supplied exact specs for appliances. Customer may modify cabinet layout if modification is consistent with cabinet providers pricing, capability, and availability or by change order in the event there is a cost change.	1	\$9,622.00	\$9,622.00
Interior Painting	All walls and trim shall be puttied, prepped, and painted. This shall include priming newly installed walls, doors, and trim and repainting all existing doors, walls, trim, interior face windows. Paint in the bay area shall be limited to priming the newly framed and finished wall that encloses existing bathroom door.	1	\$3,660.00	\$3,660.00
Flooring	Professional Floor Provider shall install Shaw Contract Abide LVP - Color: Raw Umber Oak. Installation shall include necessary prep, level, glue, materials, and labor. 768 sf	768	\$9.50	\$7,296.00
Cove Base	Johnsonite 4" Rubber Cove Base - Color: Dark Brown to be installed on all lower walls including materials, application material ie glue, and labor.	250	\$3.00	\$750.00
Bathroom Installation	Installation of 1- 36" vanities with mirrors Includes Vanity, top, and sink.	1.8	\$770.50	\$1,386.90

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Product/Service	Description	Qty.	Unit Price	Total
Finish Plumbing	Licensed Professional Plumber shall connect vanity, Kitchen sink, Dishwasher, and Refrigerator for use. This shall include installation of faucets and drains.	7.75	\$210.00	\$1,627.50
Plumbing Fixtures	Steel double kitchen sink, 1- Vanity Faucet, Kitchen Faucet	1	\$526.76	\$526.76
Finish Electrical	Licensed Professional Electrician shall install 10 wafer can lights (one in each bunk room, 1 over shower and 6 in kitchen), 1 new vanity light, and install all switch plates for added and/or modified switches and outlets. *****All other lights shall remain as is and unmodified. If customer wishes to modify or add any lighting, change order may be requested by the customer on a cost plus 20% basis.	15	\$96.43	\$1,446.45
Electrical Fixtures	1 vanity light, 10 wafer lights	1	\$540.80	\$540.80
Appliance Installation	Appliances shall be installed per specifications. Customer agrees that appliances and any necessary wires/plugs/cords/vents/etc shall be delivered either inside the room to be installed or to the door nearest the room to be installed. *****In the event that the vendor of the appliances offers installation with their deliver, Customer agrees to contact contractor and Contractor shall have the option of electing the vendor install their own appliances. In this case, the Contractor shall credit the customer for any installation cost not incurred by contractor. This credit shall be determined after all appliances have been deemed to be fully installed and up and running normally to full function.	6	\$99.00	\$594.00
Finishing, Cleaning, and Punch List	Finishing shall include small items necessary for function such as installation of door knobs, etc Jobsite shall be left broom clean and shall dispose of all construction related trash. Contractor shall have 1 business day after all punch list items have been finished and accepted by the customer to removed Dumpster/dump trailer. Punch List shall be generated in conjunction with the customer. The Contractor will collate items that need to be adjusted or touched up and shall coordinate subcontractors/vendors to address all issues in all areas of work at one time.	17	\$99.00	\$1,683.00
Dumpster/Dump Trailer	Onsite delivery and removal including one extra dump for 7 weeks.	7	\$350.00	\$2,450.00

Dream Garage Builders

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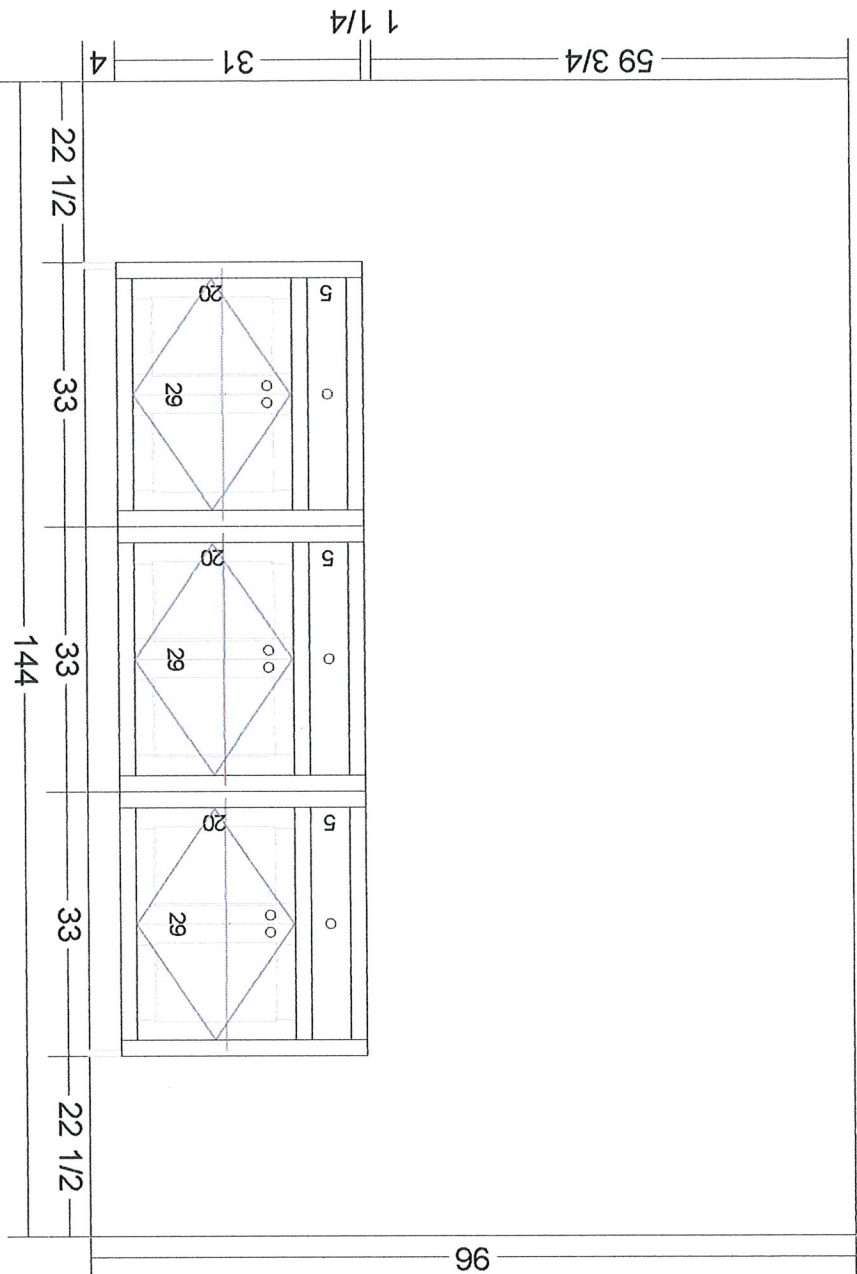
Total

\$51,353.65

This quote is valid for the next 30 days, after which values may be subject to change.

Station 4

Wall #1



Peach State Cabinets,
LLC

1716 3rd Ave Columbus, GA
31901 USA

adam@peachstatecabinets.com

JOB SITE NOTES

OWNER APPROVAL

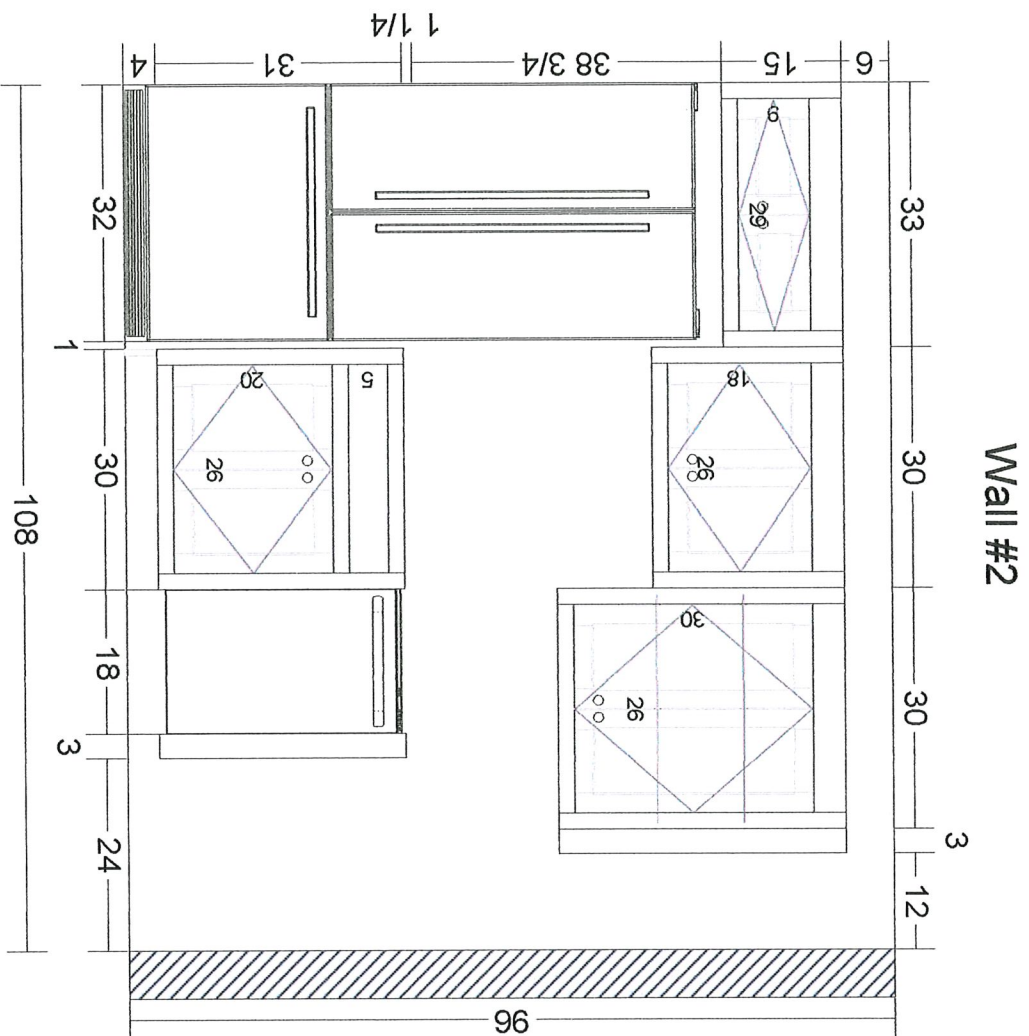
Project Name:
**White County Fire
Stations**

Client Name:

Drawing Title:

99" section

Scale:	Revision:	Date:
1/2" = 1'	1.0	11/28/2023



Wall #2

Peach State Cabinets, LLC
 1716 3rd Ave Columbus, GA
 31901 USA
 adam@peachstatecabinets.com

JOB SITE NOTES

OWNER APPROVAL

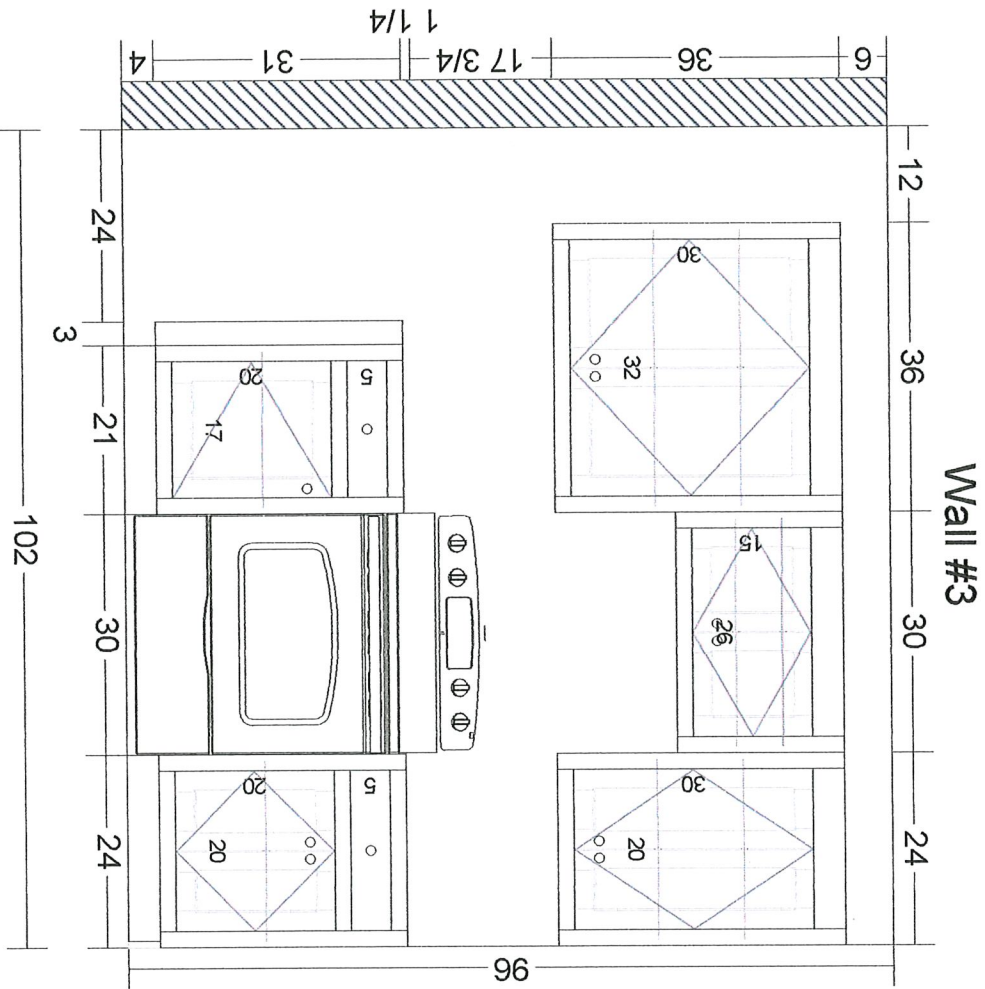
Project Name:
White County Fire Stations

Client Name:

Drawing Title:

Fire Station 1A

Scale:	Revision:	Date:
1/2" = 1'	1.0	11/01/2023



Wall #3

Peach State Cabinets, LLC

1716 3rd Ave Columbus, GA
31901 USA

adam@peachstatecabinets.com

JOB SITE NOTES

OWNER APPROVAL

Project Name:
White County Fire Stations

Client Name:

Fire Station 1B

Scale:	Revision:	Date:
1/2" = 1'	1.0	11/01/2023

Dream Garage Builders

6150 Old Still Run Road | Gainesville, Georgia 30506
 706-329-1830 | brian@onlygarages.com | www.onlygarages.com

RECIPIENT:

White County Fire Services

1650 Westmoreland Road
 Cleveland, Georgia 30528

Quote #3

Sent on _____

Total \$18,514.90

Product/Service	Description	Qty.	Unit Price	Total
Station 4 Renovation - Phase 3 -Fire Side Upstairs	The following Line Items Pertain to renovation of Station 4 per the specifications of the RFP.			
Demo 1 New Doorways	Demolition of existing walls shall be executed to create 1 new doorways and to accommodate modifications of the floor plan.	2	\$220.00	\$440.00
Flooring Demo	Professional machinery and technicians shall be employed to remove existing carpet thought the finished are inside the station to prepare for new floor plan and new flooring. Shall include scraping and chemical removal as needed. 620sf Furniture shall be removed prior to starting by customer	620	\$1.44	\$892.80
Framing	Framers shall erect necessary walls to create 2 new bunk rooms per the specification. 12 Linear Feet	12	\$75.00	\$900.00
HVAC Addition	HVAC Contractor shall add 1 output register to each of the new bunkrooms. (6" 100 CFM) *****No modification to system shall be included. If system is undersized or unable to handle new load, estimate for bringing system up to spec shall be obtained and change order executed	2	\$750.00	\$1,500.00
Electrical - Outlets and switches	Licensed professional Electrician shall add outlets to walls of bunk rooms and shall add light and light switch for each bunk room. Electrician shall utilize existing switch locations when possible. **** Price assumes that wall construction of interior walls are wood framed. If metal studs are present, a \$1000 contingency will be executed per code which dictates that romex is unacceptable and NM cable is required. ****Any modifications of cable, internet, ethernet, or any other system outside of the electrical system shall be either the responsibility of the customer, public works, or shall be added by change order.	13	\$160.00	\$2,080.00
Insulation and Drywall	All newly constructed walls will be insulated with batt insulation. Drywall will then be professionally hung and finished to all new and modified walls.	18	\$125.00	\$2,250.00

Dream Garage Builders

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 706-329-1830 | brian@onlygarages.com | www.onlygarages.com

Product/Service	Description	Qty.	Unit Price	Total
Interior Trim Work	All 1 new door shall be trimmed and hung with hollow core 6 panel doors and trim consistent with existing. Contractor will make every effort to match existing trim if available. In the event trim is no longer available, closest available version will be installed. Shall include installation of new ceiling tiles	1	\$828.94	\$828.94
Interior Painting	All walls and trim shall be puttied, prepped, and painted. This shall include priming newly installed walls, doors, and trim and repainting all existing doors, walls, trim, interior face windows. 650 sf	0	\$0.00	\$1,950.00
Flooring	Professional Floor Provider shall install Shaw Contract Abide LVP – Color: Raw Umber Oak. Installation shall include necessary prep, glue, materials, and labor 620 sf	620	\$9.50	\$5,890.00
Cove Base Installation	Johnsonite 4" Rubber Cove Base – Color: Dark Brown to be installed on all lower walls including materials, application material ie glue, and labor.	216.67	\$3.00	\$650.01
Finish Electrical	Licensed Professional Electrician exchange 6-2x4' drop ceiling lights for 12- wafer can lights (2 in each bunk room and 8 in dayroom and install all switch plates for added and/or modified switches and outlets. *****All other lights shall remain as is and unmodified. If customer wishes to modify or add any lighting, change order may be requested by the customer on a cost plus 20% basis.	5	\$96.43	\$482.15
Electrical Fixtures	12 wafer can lights	1	\$255.00	\$255.00
Finishing, Cleaning, and Punch List	Finishing shall include small items necessary for function such as installation of door knobs, fill in drop ceiling tiles, etc. Jobsite shall be left broom clean and shall dispose of all construction related trash. Contractor shall have 1 business day after all punch list items have been finished and accepted by the customer to removed Dumpster/dump trailer. Punch List shall be generated in conjunction with the customer. The Contractor will collate items that need to be adjusted or touched up and shall coordinate subcontractors/vendors to address all issues in all areas of work at one time.	4	\$99.00	\$396.00

Dream Garage Builders

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706-329-1830 | brian@onlygarages.com | www.onlygarages.com

Product/Service	Description	Qty.	Unit Price	Total
Dumpster/Dump Trailer	Onsite delivery and removal including one extra dump for 7 weeks. *****Shared cost between different sections of renovations on station 4. Contractor reserves the right to extend the fee on a weekly basis if the customer elects to execute the work over a longer period than the 45 days specified in the RFP.	0	\$540.00	\$0.00

Total **\$18,514.90**

This quote is valid for the next 30 days, after which values may be subject to change.

Dream Garage Builders

6150 Old Still Run Road | Gainesville, Georgia 30506
 706-329-1830 | brian@onlygarages.com | www.onlygarages.com

RECIPIENT:

White County Fire Services

6449 U.S. 129
 Cleveland, Georgia 30528

Quote #1

Sent on _____

Total \$43,465.38

Product/Service	Description	Qty.	Unit Price	Total
Station 6 Renovation	The following Line Items Pertain to renovation of Station 6 the specifications of the RFP and the Chief.			
Demo of Existing Kitchen	Cabinets shall be removed and disposed of. Plumbing, electrical connections shall remain. Cabinets to be emptied of all contents prior to start of renovation by Client	4.5	\$155.00	\$697.50
Demo 4 New Doorways and Trim	Demolition of existing walls shall be executed to create 3 new doorways and to remove existing doors to accommodate modifications of the floor plan. Existing Trim and Chair rail shall be removed.	3.5	\$220.00	\$770.00
Bathroom Demo	Existing Sink and mirrors in bathroom shall be removed and disposed of. Toilet shall be removed in conjunction with flooring demo.	2	\$125.00	\$250.00
Flooring Prep	Floors shall be evaluated and prepped for new floor to include minimal leveling. Per request, New floor shall be installed over existing floor where possible. Any area that installation above existing is not possible, a change order shall be submitted and professional machinery and technicians shall be employed to remove existing flooring thought the finished are inside the station to prepare for new floor plan and new flooring. Shall include scraping and chemical removal.	1	\$650.00	\$650.00
Propane Relocation	Licensed plumber shall move existing heater to clear for doorway and shall extend propane line from existing location to new stove location	7.2	\$210.00	\$1,512.00
Framing	Framers shall erect necessary walls to create 2 new bunk rooms per the specification. Framers shall frame for new door passing from day room to bathroom. Framer shall also frame small step outside of shower that moderates step distance down from shower to grade level (18"x36"x8"). 19 Linear Feet	19	\$75.00	\$1,425.00

Dream Garage Builders

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 706-329-1830 | brian@onlygarages.com | www.onlygarages.com

Product/Service	Description	Qty.	Unit Price	Total
Electrical - Outlets and switches	<p>Licensed professional Electrician shall add outlets to walls of bunk rooms and shall add/move light and light switch for each bunk room. Electrician shall utilized existing switch locations when possible. Layout shall include wiring a high and low outlet for entertainment center on the designated wall.</p> <p>****Any modifications of cable, internet, ethernet, or any other system outside of the electrical system shall be either the responsibility of the customer, public works, or shall be added by change order.</p> <p>**** Price assumes that wall construction of interior walls are wood framed. If metal studs are present, a \$2000 contingency will be executed per code which dictates that romex is unacceptable and NM cable is required.</p>	12	\$160.00	\$1,920.00
Bathroom Light Addition	<p>Licensed Profession Electrician shall add 6" wafer light above existing shower and shall tie into existing wiring to electrify this light on the existing switch simultaneously with the other lights.</p>	2	\$215.00	\$430.00
Wire for Appliances	<p>Licensed Professional Electrician shall run dedicated microwave circuit. Electrician shall also relocate power for stove relocation as necessary</p> <p>*****This price is under the assumption that the panel load and wiring allows opening in the panel or changes the load/wiring of the circuit panel from current configuration, a Contingency of\$ 1500 or cost plus 15% (whichever is lower) shall be executed via change order to re-wire the circuit breaker box to accommodate the stove and microwave circuits.</p>	1	\$450.00	\$450.00
Kitchen Plumbing Prep	<p>Licensed Plumber shall prepare existing water and drain for new sink and cabinetry which shall include adding a water line for the refrigerator. Drain and water shall be relocated as necessary to accommodate new location of sink</p>	7	\$210.00	\$1,470.00
Vent Hood addition	<p>Installation of ventilation for new vent hood (provided by customer).</p>	3	\$125.00	\$375.00
Insulation and Drywall	<p>All newly constructed walls shall be insulated with batts. Drywall will then be professionally hung and finished to all new and modified walls.</p> <p>****Existing Ceiling shall remain intact and unmodified</p>	3	\$828.94	\$2,486.82

Dream Garage Builders

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 706-329-1830 | brian@onlygarages.com | www.onlygarages.com

Product/Service	Description	Qty.	Unit Price	Total
Interior Trim Work	All 3 new doors shall be trimmed and hung with hollow core 6 panel doors and trim consistent with existing. Contractor will make every effort to match existing trim if available. In the event trim is no longer available, closest available version will be installed. A hand rail shall also be added next to the shower for safety when stepping down from the shower. New Metal Commercial door shall be installed for access to the bathroom from the bay	1	\$4,750.00	\$4,750.00
Kitchen Cabinetry	New kitchen cabinets shall be professionally installed and set in L-shaped orientation as specified. Cabinet layout of ~24 linear feet of base and wall cabinets is attached and shall include cutouts for range, dishwasher, upper cabinet mounted microwave, and 32" refrigerator. Laminate style countertops similar to existing shall be installed with cabinetry. Attached rendering is estimated lengths and measurements by cabinet designer for fit and function of the room. Final shall be determined at contract and when customer has supplied exact specs for appliances. Customer may modified cabinet layout if modification is consistent with cabinet providers pricing, capability, and availability or by change order in the event there is a cost change.	1	\$5,950.00	\$5,950.00
Interior Painting	All walls and trim shall be puttied, prepped, and painted. This shall include priming newly installed walls, doors, and trim and repainting all existing doors, walls, trim, interior face windows. 650 sf	0	\$0.00	\$2,400.00
Flooring	Professional Floor Provider shall install Shaw Contract Abide LVP – Color: Raw Umber Oak. Installation shall include necessary prep, glue, materials, and labor 650 sf	650	\$9.50	\$6,175.00
Cover Base	Johnsonite 4" Rubber Cove Base – Color: Dark Brown to be installed on all lower walls including materials, application material ie glue, and labor.	775	\$3.00	\$2,325.00
Bathroom Installation	Installation of one 36" vanity with mirror. Includes Vanity, top, and sink.	5.75	\$210.00	\$1,207.50
Finish Plumbing	Licensed Professional Plumber shall connect vanity, Kitchen sink, Dishwasher, and Refrigerator for use. This shall include installation of faucets and drains.	1	\$516.32	\$516.32

Dream Garage Builders

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 706-329-1830 | brian@onlygarages.com | www.onlygarages.com

Product/Service	Description	Qty.	Unit Price	Total
Plumbing Fixtures	Steel double kitchen sink, Vanity Faucet, Kitchen Faucet	7	\$96.43	\$675.01
Finish Electrical	Licensed Professional Electrician shall Install 2 can lights(one in each of the bunk rooms), 1 new vanity light, 1 wafer light over the shower, and install all switch plates for added and/or modified switches and outlets. Electrician shall also exchange vent fan for similar vent/light combo. *****All other lights shall remain as is and unmodified. If customer wishes to modify or add any lighting, change order may be requested by the customer on a cost plus 20% basis.	1	\$1,009.23	\$1,009.23
Electrical Fixtures	1 bathroom vent fan/light combo, 1 vanity light, 3 wafer light, 1 box of new outlets with covers	6	\$99.00	\$594.00
Appliance Installation	Appliances shall be installed per specifications. Customer agrees that appliances and any necessary wires/plugs/cords/vents/etc shall be delivered either inside the room to be installed or to the door nearest the room to be installed. *****In the event that the vendor of the appliances offers installation with their deliver, Customer agrees to contact contractor and Contractor shall have the option of electing the vendor install their own appliances. In this case, the Contractor shall credit the customer for any installation cost not incurred by contractor. This credit shall be determined after all appliances have been deemed to be fully installed and up and running normally to full function.	11	\$99.00	\$1,089.00
Finishing, Cleaning, and Punch List	Finishing shall include small items necessary for function such as installation of door knobs, etc Jobsite shall be left broom clean and shall dispose of all construction related trash. Contractor shall have 1 business day after all punch list items have been finished and accepted by the customer to removed Dumpster/dump trailer. Punch List shall be generated in conjunction with the customer. The Contractor will collate items that need to be adjusted or touched up and shall coordinate subcontractors/vendors to address all issues in all areas of work at one time.	4	\$540.00	\$2,160.00
Dumpster/Dump Trailer	Onsite delivery and removal including one extra dump for 7 weeks.	22	\$99.00	\$2,178.00

Dream Garage Builders

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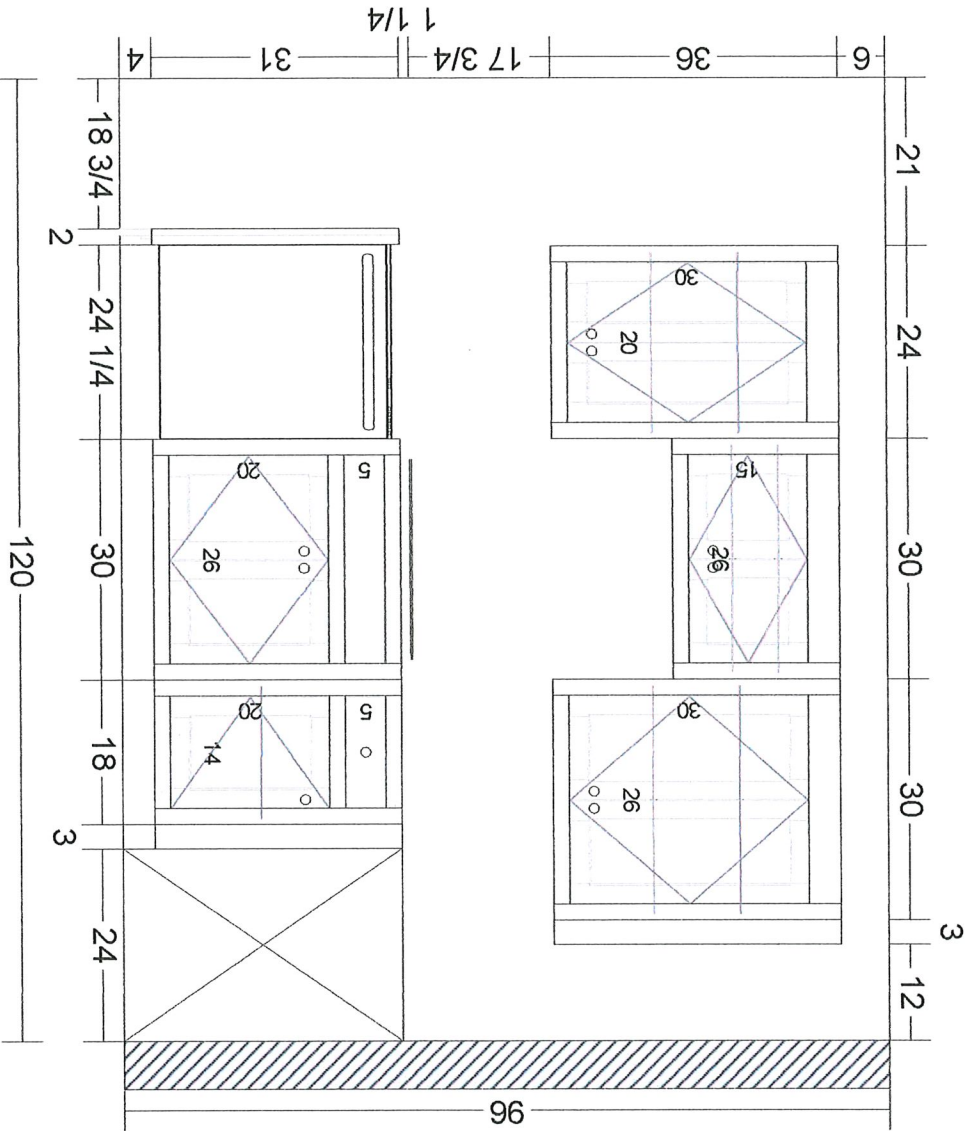
Total

\$43,465.38

This quote is valid for the next 30 days, after which values may be subject to change.

Station 6

Wall #1



Peach State Cabinets, LLC
 1716 3rd Ave Columbus, GA
 31901 USA
 adam@peachstatecabinets.com

JOB SITE NOTES

OWNER APPROVAL

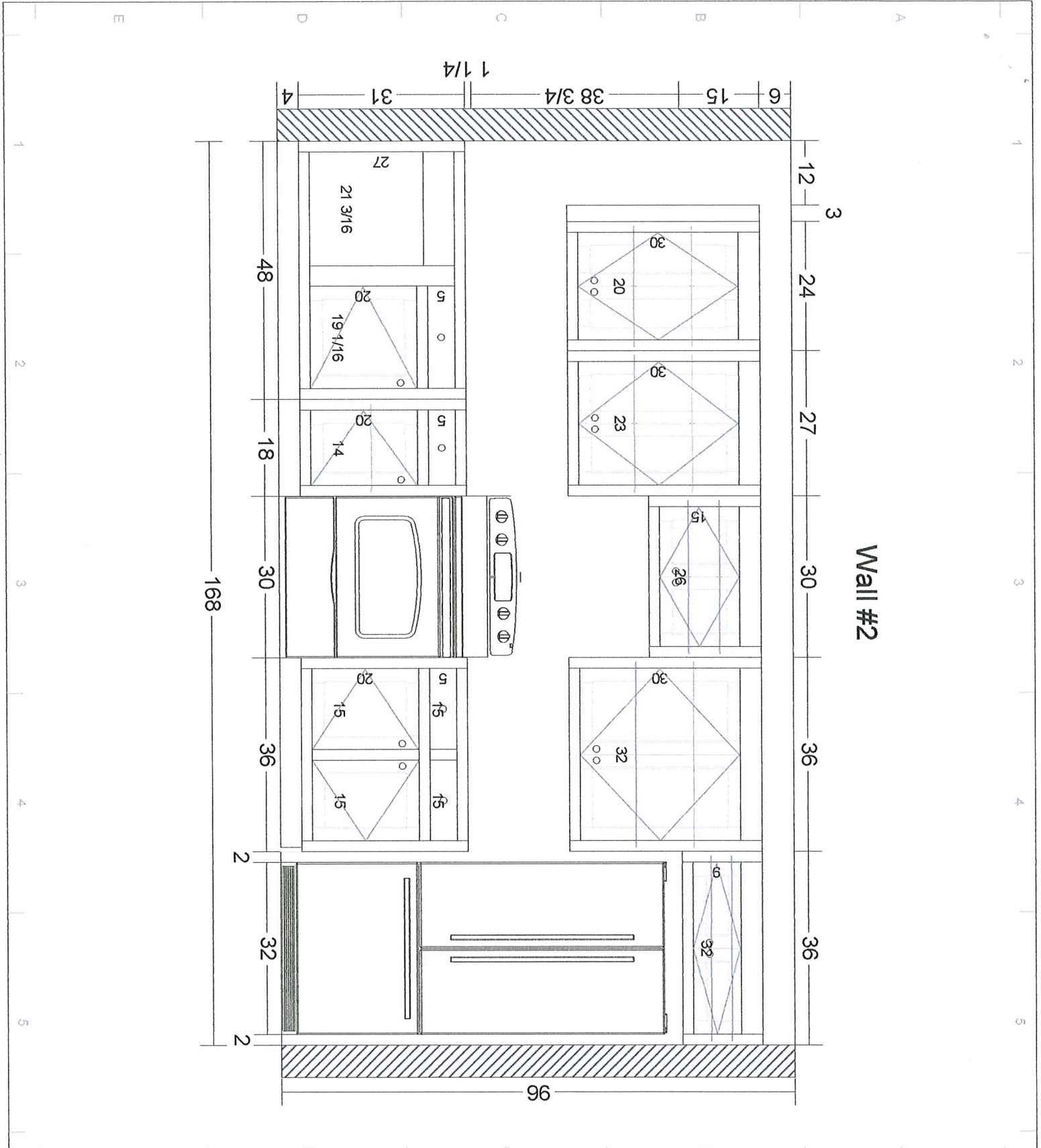
Project Name:
 White County Fire Stations

Client Name:

Drawing Title:

Fire Station 2A

Scale:	Revision:	Date:
1/2" = 1'	1.0	11/01/2023



Wall #2

Peach State Cabinets, LLC
 1716 3rd Ave Columbus, GA 31901 USA
 adam@peachstatecabinets.com

JOB SITE NOTES

OWNER APPROVAL

Project Name:
 White County Fire Stations

Client Name:

Drawing Title:

Fire Station 2B

Scale:	Revision:	Date:
1/2" = 1'	1.0	11/01/2023



APPENDIX A – BIDDER’S CERTIFICATION

*White County Fire Service’s
Fire Station 4 and Fire Station 6 Renovations*

Project# 2023-WCFS-RENOVATION

I, the undersigned, certify that this Bid is submitted without prior understanding, agreement or connection with any corporation, firm or person submitting a Bid for the same goods/services and is in all respects fair and without collusion or fraud. I understand that collusive bidding is a violation of state and Federal law and can result in fines, prison sentences and civil damages awards. I agree to abide by all conditions of this bid and certify that I am authorized to sign this bid for the bidder.

BIDDER INFORMATION (Type or Print)

NAME AND MAILING ADDRESS (Where to send payment)

Dream Garage Builders
Name of Company

Dream Garage Builders
Name of Company

6150 old Still Run Rd
Address

6150 old Still Run Rd
Address

Gainesville, GA 30506
City, State, Zip

Gainesville, GA 30506
City, State, Zip

706-329-1830
Phone Number

706-329-1830
Phone Number

Brian@onlygarages.com
Email Address

Brian@onlygarages.com
Email Address

83-0700685
Tax ID Number or Social Security Number

Name and Title of Person Authorized to Sign

Brian Cohen
Name

owner
Title

[Signature]
Signature



APPENDIX B – E-VERIFY AFFIDAVIT

White County Fire Service's
Fire Station 4 and Fire Station 6 Renovations

Project# 2023-WCFS-RENOVATION

**Proposed Bids not signed shall be declared as "Non-Responsive"
and may not be considered for the award.**
Georgia Security & Immigration Compliance (GSIC) Act
(CONTRACTOR) E-VERIFY AFFIDAVIT AND AGREEMENT

White County Commissioner and Contractor agree that compliance with the requirements of O.C.G.A. § 13-10-91 and Rule 300-10-1-.02 of the Rules of the Georgia Department of Labor are conditions of this Agreement for the physical performance of services.

By executing this affidavit, the undersigned contractor verifies its compliance with O.C.G.A. § 13-10-91, stating affirmatively that the individual, firm, or corporation which is contracting with the White County Commissioner has registered with and is participating in the federal work authorization program known as "E-Verify", web address <https://e-verify.uscis.gov/enroll/> operated by the United States Citizenship and Immigration Services Bureau of the United States Department of Homeland Security to verify information of newly hired employees, pursuant to the Immigration Reform and Control Act of 1986 [(IRCA), P.L. 99-603], in accordance with the applicability provisions and deadlines established in O.C.G.A. § 13-10-91. The undersigned Contractor also verifies that he/she/it is using and will continue to use the federal work authorization program throughout the contract period.

The undersigned Contractor agrees that, should it employ or contract with any subcontractor(s) in connection with the physical performance of services pursuant to the contract with the White County Commissioner, Contractor will secure from such subcontractor(s) similar verification of compliance with O.C.G.A. § 13-10-91 on the Subcontractor Affidavit provided in Rule 300-10-01-.08 or a substantially similar form. Contractor further agrees the Contractor will advise the White County Commissioner of the hiring of a new subcontractor and will provide White County Commissioner with a Subcontractor Affidavit attesting to the Subcontractor's name, address, user identification number, and date of authorization to use the Federal Work Authorization Program within five (5) days of the hiring before the Subcontractor begins working on the Project. Contractor also agrees to maintain all records of such compliance for inspection by White County Commissioner at any time and to provide a copy of each such verification to the White County Commissioner at the time the subcontractor(s) is retained to perform such services.

830700685
E-Verify Employment Eligibility Verification User Identification Number

11/3/23
Date of Authorization to Use Federal Work Authorization Program

Brian Cohen Properties LLC dba Dream Garage Builders
Name of Contractor

owner
Title of Authorized Officer or Agent of Contractor

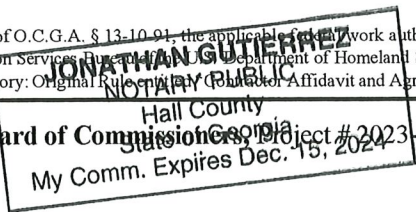
[Signature] Brian Cohen
Signature and Printed Name of Authorized Officer or Agent

SUBSCRIBED AND SWORN BEFORE ME ON THIS THE 7th DAY OF March, 2024.

[Signature]
Notary Public

12/15/2024
My Commission Expires

* As of the effective date of O.C.G.A. § 13-10-91, the applicable federal work authorization program is the "EEV / Basic Pilot Program" operated by the U.S. Citizenship and Immigration Services Bureau of the U.S. Department of Homeland Security, in conjunction with the Social Security Administration (SSA). Authority O.C.G.A. § 13-10-91. History: Original Rule adopted by Board for Affidavit and Agreement" adopted F. May 25, 2007; eff. June 18, 2007, as specified by the Agency.





APPENDIX C – PRICING SHEET

White County Fire Service's
Fire Station 4 and Fire Station 6 Renovations

Project# 2023-WCFS-RENOVATION

Station 4 Renovations	85,128.56
Station 6 Renovations	\$ 43,465.38
TOTAL	128,593.94

I, the undersigned, hereby certify that the attached pricing sheet, for the above stated project is accurate and complete to the best of my knowledge. I am the authorized representative of the below stated business and affirm that all information in the estimate is true and correct.

By signing this, I acknowledge that the below stated business is committed to honoring the terms and conditions outlined in the attached pricing sheet. Furthermore, I certify that this price sheet is provided willingly and in good faith. I am aware of the legal implications of making false statements or misinterpretations in this document.

Dream Garage Builders
Name of Company

Brian Cohen
Authorized Representative (print name)

[Signature]
Signature

3/7/24
Date

Request for Taxpayer Identification Number and Certification

**Give Form to the
 requester. Do not
 send to the IRS.**

▶ Go to www.irs.gov/FormW9 for instructions and the latest information.

Print or type.
 See Specific Instructions on page 3.

1 Name (as shown on your income tax return). Name is required on this line; do not leave this line blank. Brian Cohen Properties, LLC DBA Dream Garage Builders	
2 Business name/disregarded entity name, if different from above Dream Garage Builders	
3 Check appropriate box for federal tax classification of the person whose name is entered on line 1. Check only one of the following seven boxes. <input type="checkbox"/> Individual/sole proprietor or single-member LLC <input type="checkbox"/> C Corporation <input type="checkbox"/> S Corporation <input type="checkbox"/> Partnership <input type="checkbox"/> Trust/estate <input checked="" type="checkbox"/> Limited liability company. Enter the tax classification (C=C corporation, S=S corporation, P=Partnership) ▶ <u>S</u> Note: Check the appropriate box in the line above for the tax classification of the single-member owner. Do not check LLC if the LLC is classified as a single-member LLC that is disregarded from the owner unless the owner of the LLC is another LLC that is not disregarded from the owner for U.S. federal tax purposes. Otherwise, a single-member LLC that is disregarded from the owner should check the appropriate box for the tax classification of its owner. <input type="checkbox"/> Other (see instructions) ▶	4 Exemptions (codes apply only to certain entities, not individuals; see instructions on page 3): Exempt payee code (if any) _____ Exemption from FATCA reporting code (if any) _____ <i>(Applies to accounts maintained outside the U.S.)</i>
5 Address (number, street, and apt. or suite no.) See instructions. 6150 Old Still Run Rd	Requester's name and address (optional)
6 City, state, and ZIP code Gainesville, GA 30506	
7 List account number(s) here (optional)	

Part I Taxpayer Identification Number (TIN)

Enter your TIN in the appropriate box. The TIN provided must match the name given on line 1 to avoid backup withholding. For individuals, this is generally your social security number (SSN). However, for a resident alien, sole proprietor, or disregarded entity, see the instructions for Part I, later. For other entities, it is your employer identification number (EIN). If you do not have a number, see *How to get a TIN*, later.

Note: If the account is in more than one name, see the instructions for line 1. Also see *What Name and Number To Give the Requester* for guidelines on whose number to enter.

Social security number									
or									
Employer identification number									
8	3		0	7	0	0	6	8	5

Part II Certification

Under penalties of perjury, I certify that:

1. The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me); and
2. I am not subject to backup withholding because: (a) I am exempt from backup withholding, or (b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest or dividends, or (c) the IRS has notified me that I am no longer subject to backup withholding; and
3. I am a U.S. citizen or other U.S. person (defined below); and
4. The FATCA code(s) entered on this form (if any) indicating that I am exempt from FATCA reporting is correct.

Certification instructions. You must cross out item 2 above if you have been notified by the IRS that you are currently subject to backup withholding because you have failed to report all interest and dividends on your tax return. For real estate transactions, item 2 does not apply. For mortgage interest paid, acquisition or abandonment of secured property, cancellation of debt, contributions to an individual retirement arrangement (IRA), and generally, payments other than interest and dividends, you are not required to sign the certification, but you must provide your correct TIN. See the instructions for Part II, later.

Sign Here	Signature of U.S. person	Date ▶ <u>7/13/23</u>
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General Instructions

Section references are to the Internal Revenue Code unless otherwise noted.

Future developments. For the latest information about developments related to Form W-9 and its instructions, such as legislation enacted after they were published, go to www.irs.gov/FormW9.

Purpose of Form

An individual or entity (Form W-9 requester) who is required to file an information return with the IRS must obtain your correct taxpayer identification number (TIN) which may be your social security number (SSN), individual taxpayer identification number (ITIN), adoption taxpayer identification number (ATIN), or employer identification number (EIN), to report on an information return the amount paid to you, or other amount reportable on an information return. Examples of information returns include, but are not limited to, the following.

- Form 1099-INT (interest earned or paid)

- Form 1099-DIV (dividends, including those from stocks or mutual funds)
- Form 1099-MISC (various types of income, prizes, awards, or gross proceeds)
- Form 1099-B (stock or mutual fund sales and certain other transactions by brokers)
- Form 1099-S (proceeds from real estate transactions)
- Form 1099-K (merchant card and third party network transactions)
- Form 1098 (home mortgage interest), 1098-E (student loan interest), 1098-T (tuition)
- Form 1099-C (canceled debt)
- Form 1099-A (acquisition or abandonment of secured property)

Use Form W-9 only if you are a U.S. person (including a resident alien), to provide your correct TIN.

If you do not return Form W-9 to the requester with a TIN, you might be subject to backup withholding. See What is backup withholding, later.

By signing the filled-out form, you:

1. Certify that the TIN you are giving is correct (or you are waiting for a number to be issued),
2. Certify that you are not subject to backup withholding, or
3. Claim exemption from backup withholding if you are a U.S. exempt payee. If applicable, you are also certifying that as a U.S. person, your allocable share of any partnership income from a U.S. trade or business is not subject to the withholding tax on foreign partners' share of effectively connected income, and
4. Certify that FATCA code(s) entered on this form (if any) indicating that you are exempt from the FATCA reporting, is correct. See *What Is FATCA reporting*, later, for further information.

Note: If you are a U.S. person and a requester gives you a form other than Form W-9 to request your TIN, you must use the requester's form if it is substantially similar to this Form W-9.

Definition of a U.S. person. For federal tax purposes, you are considered a U.S. person if you are:

- An individual who is a U.S. citizen or U.S. resident alien;
- A partnership, corporation, company, or association created or organized in the United States or under the laws of the United States;
- An estate (other than a foreign estate); or
- A domestic trust (as defined in Regulations section 301.7701-7).

Special rules for partnerships. Partnerships that conduct a trade or business in the United States are generally required to pay a withholding tax under section 1446 on any foreign partners' share of effectively connected taxable income from such business. Further, in certain cases where a Form W-9 has not been received, the rules under section 1446 require a partnership to presume that a partner is a foreign person, and pay the section 1446 withholding tax. Therefore, if you are a U.S. person that is a partner in a partnership conducting a trade or business in the United States, provide Form W-9 to the partnership to establish your U.S. status and avoid section 1446 withholding on your share of partnership income.

In the cases below, the following person must give Form W-9 to the partnership for purposes of establishing its U.S. status and avoiding withholding on its allocable share of net income from the partnership conducting a trade or business in the United States.

- In the case of a disregarded entity with a U.S. owner, the U.S. owner of the disregarded entity and not the entity;
- In the case of a grantor trust with a U.S. grantor or other U.S. owner, generally, the U.S. grantor or other U.S. owner of the grantor trust and not the trust; and
- In the case of a U.S. trust (other than a grantor trust), the U.S. trust (other than a grantor trust) and not the beneficiaries of the trust.

Foreign person. If you are a foreign person or the U.S. branch of a foreign bank that has elected to be treated as a U.S. person, do not use Form W-9. Instead, use the appropriate Form W-8 or Form 8233 (see Pub. 515, *Withholding of Tax on Nonresident Aliens and Foreign Entities*).

Nonresident alien who becomes a resident alien. Generally, only a nonresident alien individual may use the terms of a tax treaty to reduce or eliminate U.S. tax on certain types of income. However, most tax treaties contain a provision known as a "saving clause." Exceptions specified in the saving clause may permit an exemption from tax to continue for certain types of income even after the payee has otherwise become a U.S. resident alien for tax purposes.

If you are a U.S. resident alien who is relying on an exception contained in the saving clause of a tax treaty to claim an exemption from U.S. tax on certain types of income, you must attach a statement to Form W-9 that specifies the following five items.

1. The treaty country. Generally, this must be the same treaty under which you claimed exemption from tax as a nonresident alien.
2. The treaty article addressing the income.
3. The article number (or location) in the tax treaty that contains the saving clause and its exceptions.
4. The type and amount of income that qualifies for the exemption from tax.
5. Sufficient facts to justify the exemption from tax under the terms of the treaty article.

Example. Article 20 of the U.S.-China income tax treaty allows an exemption from tax for scholarship income received by a Chinese student temporarily present in the United States. Under U.S. law, this student will become a resident alien for tax purposes if his or her stay in the United States exceeds 5 calendar years. However, paragraph 2 of the first Protocol to the U.S.-China treaty (dated April 30, 1984) allows the provisions of Article 20 to continue to apply even after the Chinese student becomes a resident alien of the United States. A Chinese student who qualifies for this exception (under paragraph 2 of the first protocol) and is relying on this exception to claim an exemption from tax on his or her scholarship or fellowship income would attach to Form W-9 a statement that includes the information described above to support that exemption.

If you are a nonresident alien or a foreign entity, give the requester the appropriate completed Form W-8 or Form 8233.

Backup Withholding

What is backup withholding? Persons making certain payments to you must under certain conditions withhold and pay to the IRS 24% of such payments. This is called "backup withholding." Payments that may be subject to backup withholding include interest, tax-exempt interest, dividends, broker and barter exchange transactions, rents, royalties, nonemployee pay, payments made in settlement of payment card and third party network transactions, and certain payments from fishing boat operators. Real estate transactions are not subject to backup withholding.

You will not be subject to backup withholding on payments you receive if you give the requester your correct TIN, make the proper certifications, and report all your taxable interest and dividends on your tax return.

Payments you receive will be subject to backup withholding if:

1. You do not furnish your TIN to the requester,
2. You do not certify your TIN when required (see the instructions for Part II for details),
3. The IRS tells the requester that you furnished an incorrect TIN,
4. The IRS tells you that you are subject to backup withholding because you did not report all your interest and dividends on your tax return (for reportable interest and dividends only), or
5. You do not certify to the requester that you are not subject to backup withholding under 4 above (for reportable interest and dividend accounts opened after 1983 only).

Certain payees and payments are exempt from backup withholding. See *Exempt payee code*, later, and the separate Instructions for the Requester of Form W-9 for more information.

Also see *Special rules for partnerships*, earlier.

What is FATCA Reporting?

The Foreign Account Tax Compliance Act (FATCA) requires a participating foreign financial institution to report all United States account holders that are specified United States persons. Certain payees are exempt from FATCA reporting. See *Exemption from FATCA reporting code*, later, and the Instructions for the Requester of Form W-9 for more information.

Updating Your Information

You must provide updated information to any person to whom you claimed to be an exempt payee if you are no longer an exempt payee and anticipate receiving reportable payments in the future from this person. For example, you may need to provide updated information if you are a C corporation that elects to be an S corporation, or if you no longer are tax exempt. In addition, you must furnish a new Form W-9 if the name or TIN changes for the account; for example, if the grantor of a grantor trust dies.

Penalties

Failure to furnish TIN. If you fail to furnish your correct TIN to a requester, you are subject to a penalty of \$50 for each such failure unless your failure is due to reasonable cause and not to willful neglect.

Civil penalty for false information with respect to withholding. If you make a false statement with no reasonable basis that results in no backup withholding, you are subject to a \$500 penalty.

Criminal penalty for falsifying information. Willfully falsifying certifications or affirmations may subject you to criminal penalties including fines and/or imprisonment.

Misuse of TINs. If the requester discloses or uses TINs in violation of federal law, the requester may be subject to civil and criminal penalties.

Specific Instructions

Line 1

You must enter one of the following on this line; **do not** leave this line blank. The name should match the name on your tax return.

If this Form W-9 is for a joint account (other than an account maintained by a foreign financial institution (FFI)), list first, and then circle, the name of the person or entity whose number you entered in Part I of Form W-9. If you are providing Form W-9 to an FFI to document a joint account, each holder of the account that is a U.S. person must provide a Form W-9.

a. **Individual.** Generally, enter the name shown on your tax return. If you have changed your last name without informing the Social Security Administration (SSA) of the name change, enter your first name, the last name as shown on your social security card, and your new last name.

Note: ITIN applicant: Enter your individual name as it was entered on your Form W-7 application, line 1a. This should also be the same as the name you entered on the Form 1040/1040A/1040EZ you filed with your application.

b. **Sole proprietor or single-member LLC.** Enter your individual name as shown on your 1040/1040A/1040EZ on line 1. You may enter your business, trade, or "doing business as" (DBA) name on line 2.

c. **Partnership, LLC that is not a single-member LLC, C corporation, or S corporation.** Enter the entity's name as shown on the entity's tax return on line 1 and any business, trade, or DBA name on line 2.

d. **Other entities.** Enter your name as shown on required U.S. federal tax documents on line 1. This name should match the name shown on the charter or other legal document creating the entity. You may enter any business, trade, or DBA name on line 2.

e. **Disregarded entity.** For U.S. federal tax purposes, an entity that is disregarded as an entity separate from its owner is treated as a "disregarded entity." See Regulations section 301.7701-2(c)(2)(iii). Enter the owner's name on line 1. The name of the entity entered on line 1 should never be a disregarded entity. The name on line 1 should be the name shown on the income tax return on which the income should be reported. For example, if a foreign LLC that is treated as a disregarded entity for U.S. federal tax purposes has a single owner that is a U.S. person, the U.S. owner's name is required to be provided on line 1. If the direct owner of the entity is also a disregarded entity, enter the first owner that is not disregarded for federal tax purposes. Enter the disregarded entity's name on line 2, "Business name/disregarded entity name." If the owner of the disregarded entity is a foreign person, the owner must complete an appropriate Form W-8 instead of a Form W-9. This is the case even if the foreign person has a U.S. TIN.

Line 2

If you have a business name, trade name, DBA name, or disregarded entity name, you may enter it on line 2.

Line 3

Check the appropriate box on line 3 for the U.S. federal tax classification of the person whose name is entered on line 1. Check only one box on line 3.

IF the entity/person on line 1 is a(n) . . .	THEN check the box for . . .
• Corporation	Corporation
• Individual • Sole proprietorship, or • Single-member limited liability company (LLC) owned by an individual and disregarded for U.S. federal tax purposes.	Individual/sole proprietor or single-member LLC
• LLC treated as a partnership for U.S. federal tax purposes, • LLC that has filed Form 8832 or 2553 to be taxed as a corporation, or • LLC that is disregarded as an entity separate from its owner but the owner is another LLC that is not disregarded for U.S. federal tax purposes.	Limited liability company and enter the appropriate tax classification. (P= Partnership; C= C corporation; or S= S corporation)
• Partnership	Partnership
• Trust/estate	Trust/estate

Line 4, Exemptions

If you are exempt from backup withholding and/or FATCA reporting, enter in the appropriate space on line 4 any code(s) that may apply to you.

Exempt payee code.

- Generally, individuals (including sole proprietors) are not exempt from backup withholding.
- Except as provided below, corporations are exempt from backup withholding for certain payments, including interest and dividends.
- Corporations are not exempt from backup withholding for payments made in settlement of payment card or third party network transactions.
- Corporations are not exempt from backup withholding with respect to attorneys' fees or gross proceeds paid to attorneys, and corporations that provide medical or health care services are not exempt with respect to payments reportable on Form 1099-MISC.

The following codes identify payees that are exempt from backup withholding. Enter the appropriate code in the space in line 4.

- 1—An organization exempt from tax under section 501(a), any IRA, or a custodial account under section 403(b)(7) if the account satisfies the requirements of section 401(f)(2)
- 2—The United States or any of its agencies or instrumentalities
- 3—A state, the District of Columbia, a U.S. commonwealth or possession, or any of their political subdivisions or instrumentalities
- 4—A foreign government or any of its political subdivisions, agencies, or instrumentalities
- 5—A corporation
- 6—A dealer in securities or commodities required to register in the United States, the District of Columbia, or a U.S. commonwealth or possession
- 7—A futures commission merchant registered with the Commodity Futures Trading Commission
- 8—A real estate investment trust
- 9—An entity registered at all times during the tax year under the Investment Company Act of 1940
- 10—A common trust fund operated by a bank under section 584(a)
- 11—A financial institution
- 12—A middleman known in the investment community as a nominee or custodian
- 13—A trust exempt from tax under section 664 or described in section 4947

The following chart shows types of payments that may be exempt from backup withholding. The chart applies to the exempt payees listed above, 1 through 13.

IF the payment is for . . .	THEN the payment is exempt for . . .
Interest and dividend payments	All exempt payees except for 7
Broker transactions	Exempt payees 1 through 4 and 6 through 11 and all C corporations. S corporations must not enter an exempt payee code because they are exempt only for sales of noncovered securities acquired prior to 2012.
Barter exchange transactions and patronage dividends	Exempt payees 1 through 4
Payments over \$600 required to be reported and direct sales over \$5,000 ¹	Generally, exempt payees 1 through 5 ²
Payments made in settlement of payment card or third party network transactions	Exempt payees 1 through 4

¹ See Form 1099-MISC, Miscellaneous Income, and its instructions.

² However, the following payments made to a corporation and reportable on Form 1099-MISC are not exempt from backup withholding: medical and health care payments, attorneys' fees, gross proceeds paid to an attorney reportable under section 6045(f), and payments for services paid by a federal executive agency.

Exemption from FATCA reporting code. The following codes identify payees that are exempt from reporting under FATCA. These codes apply to persons submitting this form for accounts maintained outside of the United States by certain foreign financial institutions. Therefore, if you are only submitting this form for an account you hold in the United States, you may leave this field blank. Consult with the person requesting this form if you are uncertain if the financial institution is subject to these requirements. A requester may indicate that a code is not required by providing you with a Form W-9 with "Not Applicable" (or any similar indication) written or printed on the line for a FATCA exemption code.

A—An organization exempt from tax under section 501(a) or any individual retirement plan as defined in section 7701(a)(37)

B—The United States or any of its agencies or instrumentalities

C—A state, the District of Columbia, a U.S. commonwealth or possession, or any of their political subdivisions or instrumentalities

D—A corporation the stock of which is regularly traded on one or more established securities markets, as described in Regulations section 1.1472-1(c)(1)(i)

E—A corporation that is a member of the same expanded affiliated group as a corporation described in Regulations section 1.1472-1(c)(1)(i)

F—A dealer in securities, commodities, or derivative financial instruments (including notional principal contracts, futures, forwards, and options) that is registered as such under the laws of the United States or any state

G—A real estate investment trust

H—A regulated investment company as defined in section 851 or an entity registered at all times during the tax year under the Investment Company Act of 1940

I—A common trust fund as defined in section 584(a)

J—A bank as defined in section 581

K—A broker

L—A trust exempt from tax under section 664 or described in section 4947(a)(1)

M—A tax exempt trust under a section 403(b) plan or section 457(g) plan

Note: You may wish to consult with the financial institution requesting this form to determine whether the FATCA code and/or exempt payee code should be completed.

Line 5

Enter your address (number, street, and apartment or suite number). This is where the requester of this Form W-9 will mail your information returns. If this address differs from the one the requester already has on file, write NEW at the top. If a new address is provided, there is still a chance the old address will be used until the payor changes your address in their records.

Line 6

Enter your city, state, and ZIP code.

Part I. Taxpayer Identification Number (TIN)

Enter your TIN in the appropriate box. If you are a resident alien and you do not have and are not eligible to get an SSN, your TIN is your IRS individual taxpayer identification number (ITIN). Enter it in the social security number box. If you do not have an ITIN, see *How to get a TIN* below.

If you are a sole proprietor and you have an EIN, you may enter either your SSN or EIN.

If you are a single-member LLC that is disregarded as an entity separate from its owner, enter the owner's SSN (or EIN, if the owner has one). Do not enter the disregarded entity's EIN. If the LLC is classified as a corporation or partnership, enter the entity's EIN.

Note: See *What Name and Number To Give the Requester*, later, for further clarification of name and TIN combinations.

How to get a TIN. If you do not have a TIN, apply for one immediately. To apply for an SSN, get Form SS-5, Application for a Social Security Card, from your local SSA office or get this form online at www.SSA.gov. You may also get this form by calling 1-800-772-1213. Use Form W-7, Application for IRS Individual Taxpayer Identification Number, to apply for an ITIN, or Form SS-4, Application for Employer Identification Number, to apply for an EIN. You can apply for an EIN online by accessing the IRS website at www.irs.gov/Businesses and clicking on Employer Identification Number (EIN) under Starting a Business. Go to www.irs.gov/Forms to view, download, or print Form W-7 and/or Form SS-4. Or, you can go to www.irs.gov/OrderForms to place an order and have Form W-7 and/or SS-4 mailed to you within 10 business days.

If you are asked to complete Form W-9 but do not have a TIN, apply for a TIN and write "Applied For" in the space for the TIN, sign and date the form, and give it to the requester. For interest and dividend payments, and certain payments made with respect to readily tradable instruments, generally you will have 60 days to get a TIN and give it to the requester before you are subject to backup withholding on payments. The 60-day rule does not apply to other types of payments. You will be subject to backup withholding on all such payments until you provide your TIN to the requester.

Note: Entering "Applied For" means that you have already applied for a TIN or that you intend to apply for one soon.

Caution: A disregarded U.S. entity that has a foreign owner must use the appropriate Form W-8.

Part II. Certification

To establish to the withholding agent that you are a U.S. person, or resident alien, sign Form W-9. You may be requested to sign by the withholding agent even if item 1, 4, or 5 below indicates otherwise.

For a joint account, only the person whose TIN is shown in Part I should sign (when required). In the case of a disregarded entity, the person identified on line 1 must sign. Exempt payees, see *Exempt payee code*, earlier.

Signature requirements. Complete the certification as indicated in Items 1 through 5 below.

1. Interest, dividend, and barter exchange accounts opened before 1984 and broker accounts considered active during 1983. You must give your correct TIN, but you do not have to sign the certification.

2. Interest, dividend, broker, and barter exchange accounts opened after 1983 and broker accounts considered inactive during 1983. You must sign the certification or backup withholding will apply. If you are subject to backup withholding and you are merely providing your correct TIN to the requester, you must cross out item 2 in the certification before signing the form.

3. Real estate transactions. You must sign the certification. You may cross out item 2 of the certification.

4. Other payments. You must give your correct TIN, but you do not have to sign the certification unless you have been notified that you have previously given an incorrect TIN. "Other payments" include payments made in the course of the requester's trade or business for rents, royalties, goods (other than bills for merchandise), medical and health care services (including payments to corporations), payments to a nonemployee for services, payments made in settlement of payment card and third party network transactions, payments to certain fishing boat crew members and fishermen, and gross proceeds paid to attorneys (including payments to corporations).

5. Mortgage interest paid by you, acquisition or abandonment of secured property, cancellation of debt, qualified tuition program payments (under section 529), ABL accounts (under section 529A), IRA, Coverdell ESA, Archer MSA or HSA contributions or distributions, and pension distributions. You must give your correct TIN, but you do not have to sign the certification.

What Name and Number To Give the Requester

For this type of account:	Give name and SSN of:
1. Individual	The individual
2. Two or more individuals (joint account) other than an account maintained by an FFI	The actual owner of the account or, if combined funds, the first individual on the account ¹
3. Two or more U.S. persons (joint account maintained by an FFI)	Each holder of the account
4. Custodial account of a minor (Uniform Gift to Minors Act)	The minor ²
5. a. The usual revocable savings trust (grantor is also trustee) b. So-called trust account that is not a legal or valid trust under state law	The grantor-trustee ¹ The actual owner ¹
6. Sole proprietorship or disregarded entity owned by an individual	The owner ³
7. Grantor trust filing under Optional Form 1099 Filing Method 1 (see Regulations section 1.671-4(b)(2)(i)(A))	The grantor*
For this type of account:	Give name and EIN of:
8. Disregarded entity not owned by an individual	The owner
9. A valid trust, estate, or pension trust	Legal entity ⁴
10. Corporation or LLC electing corporate status on Form 8832 or Form 2553	The corporation
11. Association, club, religious, charitable, educational, or other tax-exempt organization	The organization
12. Partnership or multi-member LLC	The partnership
13. A broker or registered nominee	The broker or nominee

For this type of account:	Give name and EIN of:
14. Account with the Department of Agriculture in the name of a public entity (such as a state or local government, school district, or prison) that receives agricultural program payments	The public entity
15. Grantor trust filing under the Form 1041 Filing Method or the Optional Form 1099 Filing Method 2 (see Regulations section 1.671-4(b)(2)(i)(B))	The trust

¹ List first and circle the name of the person whose number you furnish. If only one person on a joint account has an SSN, that person's number must be furnished.

² Circle the minor's name and furnish the minor's SSN.

³ You must show your individual name and you may also enter your business or DBA name on the "Business name/disregarded entity" name line. You may use either your SSN or EIN (if you have one), but the IRS encourages you to use your SSN.

⁴ List first and circle the name of the trust, estate, or pension trust. (Do not furnish the TIN of the personal representative or trustee unless the legal entity itself is not designated in the account title.) Also see *Special rules for partnerships*, earlier.

*Note: The grantor also must provide a Form W-9 to trustee of trust.

Note: If no name is circled when more than one name is listed, the number will be considered to be that of the first name listed.

Secure Your Tax Records From Identity Theft

Identity theft occurs when someone uses your personal information such as your name, SSN, or other identifying information, without your permission, to commit fraud or other crimes. An identity thief may use your SSN to get a job or may file a tax return using your SSN to receive a refund.

To reduce your risk:

- Protect your SSN,
- Ensure your employer is protecting your SSN, and
- Be careful when choosing a tax preparer.

If your tax records are affected by identity theft and you receive a notice from the IRS, respond right away to the name and phone number printed on the IRS notice or letter.

If your tax records are not currently affected by identity theft but you think you are at risk due to a lost or stolen purse or wallet, questionable credit card activity or credit report, contact the IRS Identity Theft Hotline at 1-800-908-4490 or submit Form 14039.

For more information, see Pub. 5027, Identity Theft Information for Taxpayers.

Victims of identity theft who are experiencing economic harm or a systemic problem, or are seeking help in resolving tax problems that have not been resolved through normal channels, may be eligible for Taxpayer Advocate Service (TAS) assistance. You can reach TAS by calling the TAS toll-free case intake line at 1-877-777-4778 or TTY/TDD 1-800-829-4059.

Protect yourself from suspicious emails or phishing schemes.

Phishing is the creation and use of email and websites designed to mimic legitimate business emails and websites. The most common act is sending an email to a user falsely claiming to be an established legitimate enterprise in an attempt to scam the user into surrendering private information that will be used for identity theft.

The IRS does not initiate contacts with taxpayers via emails. Also, the IRS does not request personal detailed information through email or ask taxpayers for the PIN numbers, passwords, or similar secret access information for their credit card, bank, or other financial accounts.

If you receive an unsolicited email claiming to be from the IRS, forward this message to phishing@irs.gov. You may also report misuse of the IRS name, logo, or other IRS property to the Treasury Inspector General for Tax Administration (TIGTA) at 1-800-366-4484. You can forward suspicious emails to the Federal Trade Commission at spam@uce.gov or report them at www.ftc.gov/complaint. You can contact the FTC at www.ftc.gov/idtheft or 877-IDTHEFT (877-438-4338). If you have been the victim of identity theft, see www.IdentityTheft.gov and Pub. 5027.

Visit www.irs.gov/identitytheft to learn more about identity theft and how to reduce your risk.

Privacy Act Notice

Section 6109 of the Internal Revenue Code requires you to provide your correct TIN to persons (including federal agencies) who are required to file information returns with the IRS to report interest, dividends, or certain other income paid to you; mortgage interest you paid; the acquisition or abandonment of secured property; the cancellation of debt; or contributions you made to an IRA, Archer MSA, or HSA. The person collecting this form uses the information on the form to file information returns with the IRS, reporting the above information. Routine uses of this information include giving it to the Department of Justice for civil and criminal litigation and to cities, states, the District of Columbia, and U.S. commonwealths and possessions for use in administering their laws. The information also may be disclosed to other countries under a treaty, to federal and state agencies to enforce civil and criminal laws, or to federal law enforcement and intelligence agencies to combat terrorism. You must provide your TIN whether or not you are required to file a tax return. Under section 3406, payers must generally withhold a percentage of taxable interest, dividend, and certain other payments to a payee who does not give a TIN to the payer. Certain penalties may also apply for providing false or fraudulent information.



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
02/23/2024

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).



PRODUCER Next First Insurance Agency, Inc. PO Box 60787 Palo Alto, CA 94306	CONTACT NAME: PHONE (A/C, No. Ext): (855) 222-5919 E-MAIL ADDRESS: support@nextinsurance.com FAX (A/C, No.):
	INSURER(S) AFFORDING COVERAGE INSURER A : Next Insurance US Company INSURER B : INSURER C : INSURER D : INSURER E : INSURER F :
INSURED Brian Cohen Properties, LLC 6150 Old Still Run Rd Gainesville, GA 30506	NAIC # 16285

COVERAGES **CERTIFICATE NUMBER:** 727950989 **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:	X		NXT9PPWHCK-00-GL	05/19/2023	05/19/2024	EACH OCCURRENCE \$1,000,000.00
	DAMAGE TO RENTED PREMISES (Ea occurrence) \$100,000.00						
							MED EXP (Any one person) \$15,000.00
							PERSONAL & ADV INJURY \$1,000,000.00
							GENERAL AGGREGATE \$2,000,000.00
							PRODUCTS - COMP/OP AGG \$2,000,000.00
							\$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY						COMBINED SINGLE LIMIT (Ea accident) \$
							BODILY INJURY (Per person) \$
							BODILY INJURY (Per accident) \$
							PROPERTY DAMAGE (Per accident) \$
							\$
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$						EACH OCCURRENCE \$
							AGGREGATE \$
							\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory In NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N	N/A				<input type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
A	Contractors Errors and Omissions	X		NXT9PPWHCK-00-GL	05/19/2023	05/19/2024	Each Occurrence: \$25,000.00 Aggregate: \$50,000.00

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
The Certificate Holder is White County Board of Commissioners. This Certificate Holder is an Additional Insured on the General Liability policy per the Additional Insured Automatic Status Endorsement. All Certificate Holder privileges apply only if required by written agreement between the Certificate Holder and the insured, and are subject to policy terms and conditions.

CERTIFICATE HOLDER White County Board of Commissioners 1235 Helen Hwy Cleveland, GA 30528	LIVE CERTIFICATE  Click or scan to view	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE 
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FULCRO

47 Perimeter Center East Atlanta, GA 30346

03/06/2024

RE: #2023-WCFS-Renovation

To: Whom it may concern,

In reference, to the above mentioned project. We are writing on behalf of our current client, Dream Garage Builders, and owner, Brian Cohen.

In regards to the requested insurance requirements, we have reviewed the requirements of the insurance, and can state that we will secure and meet the requirements outlined in the proposal. These are standard request that we receive and are capable of securing the requested coverage, if the bid is awarded to them.

If there are any additional questions and or concerns, we are available to discuss and answer any questions.

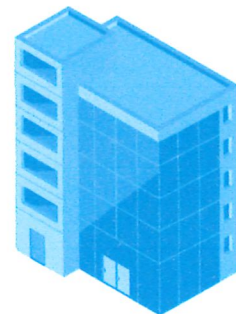
Respectfully,

Louis Cortez CIC, CLCS

Fulcro Insurance

NPN#3635091

Email: LCORTEZ@FULCROINSURANCE.COM



White County, Georgia

ADDENDUM # 1

MARCH 8, 2024

INVITATION TO BID RE-SOLICITATION FIRE STATION 4 AND FIRE STATION 6 RENOVATIONS

This addendum is issued to change or clarify the proposal documents associated with the renovations to Fire Station 4 and Fire Station 6, Issued February 9, 2024.

Q. Is a **COMMERCIAL** general contractor license required? (state law says yes)

A. Yes, per the bid invitation, the contractor will comply with all State and Federal laws, rules, and regulations.

Q. Flooring Moisture Barrier (not used in specified product)

The flooring specification is a glue down product which does not use a moisture barrier that a floating floor would use. A floating floor is not generally used in commercial spaces.

A. It won't be necessary to put down a moisture barrier.

Q. Cabinets Specifications submitted for Clarity -

Shaker Style - Gray in color (to contrast with flooring color of Dark Amber)

Solid Hardwood Door Frames and face frames with plywood center panels

Cabinet boxes with 1/2" plywood, tops, sides and bottoms.

5/8" hardwood dovetail drawer boxes with 1/2" bottoms.

3/4 plywood shelves

Cabinet boxes are to be matched stained.

6-way adjustable soft close under mount drawer glides with full extension
Soft close door hinges
Door and drawer pull allowance should be included of 5\$ each for materials.

A. Those specs will be acceptable for each bidder, however, Chief LeFevre will want to check the color before committing to gray.


Q. The spec's do not mention any new cabinets in the Phase 1 (EMS Area), please confirm.

A. The ONLY kitchen cabinet work at Station 4 will be in Phase II area.

Q. Does the second site visit change the deadline?

A. No, the deadline for bids due remains the same. Due no later than 2:00 pm, March 8th, 2024.

Note: A signed acknowledgement of this addendum must be received by the White County Purchasing Assistant and attached to your proposal response.

Vendor Name: Dream Garage Builders
Address: 6150 Old Still Run Rd
Gainesville, GA 30508
Email: Brian@onlygarages.com
Authorized Signature:  Date: 3/7/24
Name (Printed): Brian Cohen Title: owner



STATE LICENSING BOARD FOR RESIDENTIAL AND GENERAL CONTRACTORS

237 Coliseum Drive, Macon, GA 31217

404-424-9966

www.sos.ga.gov/plb

Authorized Permit Agent Form (ONE FORM PER PERMIT)

This form may be used by a qualifying agent to designate an individual to obtain a permit on his/her behalf for a project for the qualifying company. The contractor should submit an original Authorized Permit Agent Form for each project for which he/she has designated an individual to pull permits. This designated individual shall further be identified as the authorized permit agent. This notarized form with an ORIGINAL SIGNATURE (no copies or faxes accepted), a copy of the contractor's license, a copy of the contractor's company license, and a copy of the driver's license of the authorized permit agent is to be given to the permit office in the city or county in which the project is located. DO NOT SEND A COPY OF THIS FORM TO THE BOARD OFFICE UNLESS REQUESTED.

License verification by permitting office should be completed by visiting http://verify.sos.ga.gov/verification

Table with 2 columns: Field Name and Value. Fields include Name of Qualifying Agent (James T Elrod), Contractor License # (RLCI000610), Name of Licensed Company, Company License #, Name of Authorized Permit Agent (Brian Cohen).

PROJECT (an original form is required for each project):

Table with 2 columns: Field Name and Value. Fields include Company listed on contract (Brian Cohen Properties, LLC DBA Dream Garage Builders), Property Owner's Name, Street Address, Apartment or Suite #, City, State, Zip.

I hereby designate the above listed Authorized Permit Agent to apply for and obtain the permit(s) for the project listed above. The undersigned, being licensed as a qualifying agent, do hereby affirm and swear, under oath, that all information on this form and on accompanying documents are true and correct.

Original Signature of Qualifying Agent (no copies or faxes accepted)

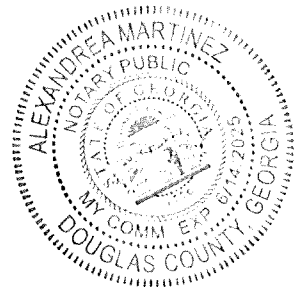
State of Georgia County of Fulton

NOTARY SEAL

SUBSCRIBED AND SWORN BEFORE ME ON THIS THE

2 DAY OF February 20 24

NOTARY PUBLIC My Commission Expires: 6/14/2025





PROFESSIONAL LICENSING

GEORGIA SECRETARY OF STATE BRAD RAFFENSPERGER

CORPORATIONS • ELECTIONS • LICENSING • CHARITIES

Licensee Details

Licensee Information

Name: James T Elrod

Address:

BedMelem GA 30620

Primary Source License Information

Lic #: RLC1000610	Profession: Residential/General Contractor	Type: Residential Light Commercial Individual
Secondary:	Method: Application/Exam Exempt	Status: Active
Issued: 4/22/2008	Expires: 6/30/2024	Last Renewal Date: 8/3/2022

Associated Licenses

No Prerequisite Information

Public Board Orders

Please see Documents section below for any Public Board Orders

Other Documents

No Other Documents

Data current as of September 29, 2022 15:24:6

This website is to be used as a primary source verification for licenses issued by the Professional Licensing Boards. Paper verifications are available for a fee. Please contact the Professional Licensing Boards at 844-755-7825.

[Close Window](#)

FIRE STATION 4 & FIRE STATION 6 RENOVATIONS

PROJECT# 2023-WCFS-RENOVATION

SUBMISSION REQUIREMENTS

	AD Smith	Dreem Garage Builders	RJB Associates	HFC Construction		
Submission Requirements:						
Mandatory Pre-Bid Meeting	✓	✓	✓	✓	✓	
Completed Bidder's Certification - Appendix A	✓	✓	✓	✓	✓	
Completed E-Verify - Appendix B	✓	✓	✓	✓	✓	
Completed Pricing Sheet - Appendix C	✓	✓	✓	✓	✓	
Completed W-9	✓	✓	✓	✓	✓	
Certificate of Proof of Insurance	✓	✓	✓	✓	✓	
Information Sheets, etc	✓	✓	✓	✓	✓	
Signed Addendum	✓	✓	✓	✓	✓	
PRICING:	\$149,173.00	\$128,593.94	\$735,000.00	\$184,410.00		

Bids/Quotes Received

Vendor:

Go Smith - \$149,173.00

Dream Garage Builders - \$128,593.94

RJB & Associates - \$735,000.00

HEC Construction - \$184,410.62

White County Staff Present:

Misti Lane - BOC

Mike Deane - Fire



White County
Georgia

Pre-Proposal/Pre-Bid - Site Visit Sign In Sheet

FIRE STATION 4 & FIRE STATION 6 RENOVATIONS

Name	Company	Phone #	Email
1. Misty Spure	BC		mlane@whitecounty.net
2. Darrell Daeters	Body Body Repairs	1978-526-3596	info@bodybodyrepairs.com
3. Sam Smil	True North Work	770 568 0635	GOSMITHINC@gmail.com
4. Al Peterson	True North work	770 568-0635	Same
5. Leslie Rave	HEC Construction Solutions	770-954-7071	lrye@hecconstruction.com
6. DuTerry	Christ Custom Construction	766.358-7228	duwterry@gmail.com
7. Dennis Rogers	RSB+ Associates	404 379-9470	dlrccc@bellsouth.net
8. Mike LeFevre	MC Fire		
9. Robbye Burke	MC Fire		
10. Brian Cohen	Dream Garage Builders	706-329-1830	Brian@onlygarage.com
11. Kim Jensen	SPECKS & BLITZ	770-532-5000	kjensen@scraggadgzd.com
12.			



WHITE COUNTY

Board of Commissioners

Item Title: Best Friends Grant - Community Cat Program

For Meeting Date: 3/25/2024

Work Session **Regular Meeting** **Public Hearing**

Category (Select One): Grant App / Acceptance

Submitted By: David L. Murphy, Jr. Public Safety Director

Attachments: Yes **If yes, please list each file name below:**

1. Grant Award Letter & Documentation
2. CCP One-Page Information Sheet
3. TNVR and Public Health Information Packet

Purpose:

The purpose of this grant agreement, the Lifesaving Program includes but is not limited to the following: Community Cat Programs (CCP), Intake Diversion Programs, and Working Cat Programs.

Background / Summary:

- White Co AC wishes to close the lifesaving gap by 90%.
- We have a large population of feral - community cats, that continue to be problematic and reproduce.
- Funds will be used to close the lifesaving gap with assistance from Best Friends Animal Society.
- This is a total in-kind match for White County, with only are officers and staff to participate in the programs.
- The grant totals \$ 24,000
- Training and resources will be provided to our staff and the agency.

Department Recommendation:

Approve the grant for a pilot program for 1 year beginning June 1, 2024 and to be reviewed prior to end of grant period of June 1, 2025.

Options:

- Do not authorize.

Budget Information: Applicable Not Applicable

Budgeted: Yes No

Finance Director's Comments (if applicable):

-

County Manager Comments:

-

Grant Agreement Between Best Friends Animal Society and White County Animal Control

This grant agreement (“Agreement”) is made and entered into between Best Friends Animal Society, a Utah nonprofit corporation (“Best Friends”) and White County Animal Control, a governmental entity (“Recipient”). Each party shall be referred to herein individually as a “Party,” and collectively as the “Parties.” The Parties hereby agree to the following terms and conditions as of the date of the last signature below (the “Effective Date”).

BACKGROUND

Best Friends is a leading national animal welfare organization dedicated to ending the killing of dogs and cats in America's shelters. Best Friends believes the no-kill philosophy is underpinned by one simple fact: every healthy or treatable animal should be saved. Generally, “no-kill” means that the shelter(s), private organizations, SPCAs and/or humane societies handling a community’s animal control intake and surrenders are collectively saving all healthy or treatable animals. The industry standard for a quantitative no-kill benchmark is saving 90 percent or more of the animals who come through the community system. Just five years ago, nearly 1.5 million cats and dogs were being killed in America’s shelters because shelters didn’t have the community support, or the resources, they needed to save them. In 2016, Best Friends committed to change that by 2025, and we know that no single organization can do it alone, so we are working with agencies to share our resources and expertise to help their community achieve no-kill.

Due to the No Kill 2025 vision, Best Friends has a vested interest in helping “Recipient” continue to increase its save rate in a sustainable way and would like to work with “Recipient” by allocating resources to achieve this success.

For the purpose of this grant agreement, the Lifesaving Program (“Program”) includes but is not limited to the following:

- Community Cat Programs (CCP)
- Intake Diversion Programs
- Working Cat Programs

AGREEMENT

Section 1. Identification of Recipient, Grant Amount and Term

Full Legal Name of Recipient Organization: White County Animal Control (“Recipient”)

EIN #: 58-6000908

This is a one-time grant in the amount of: \$24,000.00

The term of this Agreement, unless terminated pursuant to Section 9, will be for a twelve (12) month period from June 1, 2024 through June 1, 2025 (the “Grant Period”).

Subject to the provisions of the Termination section below, the grant funding will be disbursed using the following payment schedule:

- A. The first installment** will be paid within thirty (30) days upon receipt by Best Friends of the executed Agreement and [IRS Form W9](#): \$8,250
 - a. This installment will fund the purchase kitten care supplies to increase kitten lifesaving and create “kitten kits” (\$3000) and cover medical services for 75 cats (\$5,250).

- B. **The second installment** is contingent upon the following and will be paid within thirty (30) days of September 1, 2024 if the following requirements are met: \$5,250 (covers medical services for 75 cats).
- a. Best Friends receipt of detailed data for the first three (3) months of the program, June 1, 2024 through August 31, 2024.
 - b. Recipient having achieved a cumulative total save rate of 70% for the period of June 1, 2024-August 31, 2024.
- C. **The third installment** is contingent upon the following and will be paid within thirty (30) days of December 1, 2024 if the following requirements are met: \$5,250 (covers medical services for 75 cats).
- a. Best Friends receipt of detailed data for the first six (6) months of the program, June 1, 2024 through November 30, 2024.
 - b. Recipient having achieved a cumulative total save rate of 80% for the period of September 1, 2024-November 30, 2024.
 - c. Completion of a written sustainability plan to plan for continuation of the community cat program after the twelve (12) month pilot has ended.
- D. **The final (fourth) installment** is contingent upon the following and will be paid within thirty (30) days of March 1, 2025 if the following requirements are met: \$5,250 (covers medical services for 75 cats).
- a. Best Friends receipt of detailed data for the first nine (9) months of the program, June 1, 2024-February 28, 2025.
 - b. Recipient having achieved a cumulative total save rate of 90% for the period of December 1, 2024-February 28, 2025.
 - c. Successful update of ordinances to allow for shelter-neuter-vaccinate-return programming.

Recipient acknowledges that Best Friends and its representatives have made no actual or implied promise of funding except for the amount specified in this Agreement.

If the Parties do not fully execute this Agreement by June 2025, Best Friends offer to work with Recipient will expire and is automatically revoked. Best Friends will not be obligated to provide any support (financial or otherwise) to Recipient if the offer expires and is automatically revoked.

Section 2. Goals of Project and Use of Grant Funds

The goal of the Program is the implementation of additional programming to work toward closing the lifesaving gap¹ and/or achieve a 90% total save rate.² In the case of the Recipient, based on data from 2022 the lifesaving gap was 437 cats. The lifesaving gap for cats from 2023 was 239.

Unless otherwise agreed in writing, all grant funds are to be used by Recipient to support the Program in the following way:

- For the implementation and utilization of various lifesaving avenues that result in an increase of at least 300 live outcomes for cats and achieve a 90% cumulative save rate.
- For the purchase of operational supplies for the program such as kitten supplies or cat care supplies.

Section 3. Best Friends Responsibilities

As part of this Agreement, Best Friends agrees to:

¹ The lifesaving gap is determined by subtracting 10% of the total live intakes in the baseline year (year prior to the program) from the total number of animals that did not have live outcomes in that same baseline year.

² The save rate calculation is determined using the following formula [(Live Intakes) – (Non-Live Outcomes)] divided by (Live Intakes).

1. Provide funding to Recipient as outlined in the terms above to be used to support lifesaving programming at the shelter.
2. Provide Recipient with trainings and services, including but not limited to:
 - a. In-person and/or virtual ongoing training for field services, shelter staff, and other key stakeholders, and any other in-person or other assistance that the parties may mutually agree upon. If travel is needed, the costs associated will be covered by Best Friends and is supplemental to the grant funding.
 - b. Collaborate with the Recipient on the creation of marketing materials and handouts for field services staff and client service staff (e.g. door hangers, flyers, etc.) for programs including, but not limited to; foster recruitment, kitten intake diversion, and/or information on nuisance mitigation to resolve cat-related issues in the community as needed. Best Friends will cover the initial printing of the materials supplemental to the grant funding.
3. Provide a monthly check-in call with Recipient leadership (White County Animal Control Operations and Training Coordinator) to assist in overcoming challenges and discuss strategies/advice on working with other staff, volunteers, or members of the public to resolve issues they may have with implementing the program.
4. Provide ongoing training as needed.

Section 4. Recipient Responsibilities

During the Grant Period, Recipient agrees to:

1. Perform all operational duties and responsibilities for the implementation of the Program.
2. Distribute funding as agreed to expand lifesaving programs and ensure allocated funds are being utilized for their intended purposes.
3. Change any current relevant shelter policies and proactively work to change any applicable ordinances within six months that impede the ability to institute and sustain any lifesaving programs contemplated by this Agreement. In the event that it is not possible to change all applicable ordinances within six months, proactively work to have a resolution adopted by the relevant governing body allowing for a pilot program or programs that will support the animal lifesaving programs that are the subject of this Agreement.
4. Delegate staff who will be accountable for the success of the Program and require participation in all necessary trainings.
5. Ensure leadership staff attend monthly check-in calls to overcome challenges and discuss strategies/advice on working with other staff, volunteers, or members of the public to resolve issues they may have with implementing the program.
6. Create and execute a communication strategy to all staff to ensure BF staff, their purpose and the mutually agreed upon goals of this Agreement are properly socialized with the team.
7. Order supplies for all aspects of the Program if needed, such as but not limited to feral dens, supplies for kitten kits, deterrents, additional humane traps, and supplies for enrichment.
8. For cat lifesaving programming, incorporate concepts of proven strategies provided by the Best Friends trainings to:
 - a. Provide the public with information on the new approach to handling nuisance complaints instead of immediate impoundment, as well as the importance of leaving neonates where they were found for up to 10 hours so that the mother cat has an opportunity to return. Staff should reduce the intake of healthy kittens/cats in the field by offering kitten kits and information/guidance on best practices to adopt kittens within the community.
 - b. Use proven strategies for comprehensive community cat programming that ensures positive outcome eligibility³ extends to all healthy, stray intake type cats that have an accurate address.

³ An "eligible" cat is one who has a stray intake type, is healthy, and came in with an accurate complete address.

- c. Provide all cats receiving shelter-neuter-vaccinate-return (SNVR) and trap-neuter-vaccinate-return (TNVR) services with standard rabies and FVRCP vaccinations.
- d. Discontinue renting or loaning traps to the public unless they are to be used for TNVR.
- e. Refrain from testing any CCP eligible cats for FIV or FeLV. Exceptions to this are in cases where the cats are sick from an undetermined illness.
- f. Refuse impounding cats from for-profit entities. Refrain from impounding ear-tipped, program-eligible cats. Should any ear-tipped cats be inadvertently impounded, they shall be promptly returned to their pick-up location.
- g. Work with Best Friends staff to identify ways to ensure that there is adequate, long-term surgery capacity for program cats, and that these surgeries are prioritized.
- h. Approval and incorporation of the CCP Official Policy (**see Addendum 1**) into White County Animal Control policy and procedures.

Recipient acknowledges and agrees to work with Best Friends staff to develop a sustainability plan for the Program, to ensure that they will continue the programs as part of the shelter's standard operating procedures beyond the end date of this Agreement. Continuation of these programs after the Grant Period will be the sole financial responsibility of Recipient.

Section 5. Program Reporting Requirement

Recipient agrees to provide on-going appropriate statistics through Shelter Pet Data Alliance (SPDA). If Recipient uses shelter management software that can directly provide the information to the online reporting system, Recipient will opt-in to allow the transfer of data directly to the designated online reporting system. If Recipient is unable to use an online reporting system, Recipient will report statistics directly to Best Friends program staff monthly, by the 3rd of the following month (for example, February stats are due by March 3rd), in the manner designated by Best Friends as well as any additional data requested to quantify success.

Section 6. Project Branding Terms and Promotion

Recipient shall cooperate with Best Friends regarding the promotion of the funded project.

Both Parties may issue reports or statements to its members, the media and the public about the funded project. This includes, but is not limited to websites, newsletters, press releases, magazine articles, blogs, and podcasts.

Recipient shall use its best efforts to provide Best Friends with the opportunity to photograph, video, and audio record events related to the Program and use such materials for publicity purposes, consistent with Recipient's policies and procedures for such event(s).

Recipient shall reasonably cooperate with Best Friends network staff, volunteer team leaders, and news or magazine writers in the production of such news content. Recipient agrees to cooperate with Best Friends and facilitate promotion of the Program through the Best Friends website, newsletters, electronic news distributions, press releases, and other media outlets.

Neither Party may use each other's logos, trademarks, or other intellectual property without express permission.

Section 7. Recipient Representations and Warranties

Recipient represents and warrants as follows:

- Recipient is a qualified governmental entity;

- Recipient acknowledges that its animal welfare activities may be governed by a variety of federal, state, and local laws. Recipient hereby warrants that it shall use its best efforts to comply with all applicable laws and shall not knowingly violate same;
- The individual signing this Agreement on behalf of Recipient is duly authorized to do so.

Section 8. Financial Assistance Restrictions

In addition to abiding by the requirement that the funds be used in furtherance of the project described in Recipient's obligations, Recipient specifically agrees that no portion of the funds will be used for any of the following: (i) to lobby or otherwise attempt to influence legislation; (ii) to influence outcome of any specific public election or participate or intervene in any political campaign on behalf of any candidate for public office or conduct, directly or indirectly; (iii) to support or oppose any elected official or candidate for public office or on any particular issue.

Section 9. Default and Termination

Termination by Recipient. Recipient may terminate this Agreement upon written notice to Best Friends in the event of the following events of default and where Best Friends fails to cure said default within 14 calendar days after receipt of notice thereof:

- (i.) By its actions or statements, Best Friends materially harms Recipient in its reasonable judgment; or
- (ii.) Best Friends files for bankruptcy, or sells, assigns or transfers the majority of its assets to another entity, or ceases to operate as a non-profit corporation.

Termination by Best Friends. Best Friends may terminate this Agreement upon written notice to Recipient in the event of the following events of default within 14 calendar days after receipt of notice thereof:

- (i.) Recipient fails to carry out their obligations as set out within this Agreement, including, as within the reasonable judgment of Best Friends, failing to carry out the Program in the spirit in which it is entered and with the goal of saving as many animal lives as possible; or
- (ii.) By its actions or statements, Recipient materially harms the reputation of Best Friends, as determined by Best Friends in its reasonable judgment.

Best Friends may immediately terminate this Agreement without penalty or any further obligation upon written notice to Recipient in the event that Best Friends determines that it lacks the financial ability to continue to support the Program.

In the event that this Agreement is terminated by either Party, Best Friends will not be obligated to provide any installment payments that are not yet due.

Section 10. Publicity Materials

Recipient agrees to provide to Best Friends, via email to the contact address provided by Best Friends, with a minimum of one (1) unique still photo and/or video clip of no less than 30 seconds in length, in a format suitable for posting on social media platforms or websites (with the specific digital format mutually agreed upon by the parties) relating to events or activities associated with the program at least once per month during the Term of this Agreement (the "Publicity Materials"). Recipient grants Best Friends the right to use the Publicity Materials in any manner Best Friends deems appropriate in perpetuity and warrants to Best Friends that it has received any permissions needed to grant such right.

Section 11. Non-Disparagement

Recipient agrees not to disparage Best Friends during the funded project and for three years following the last disbursement from Best Friends to Recipient.

Section 12. Release

Recipient, its directors, officers, employees, representatives, agents, successors and assigns, agrees never to bring a claim or suit against Best Friends relating to the funded project and its receipt of financial assistance funds. Recipient agrees Best Friends and its directors, officers, employees, representatives, agents, successors and assigns are not responsible for any of the decisions, plans, guidelines, work, or activities related to or arising from the project or participation in the network. Recipient and its directors, officers, employees, representatives, agents, successors, and assigns hereby release Best Friends and its directors, founders, employees, officers, agents, representatives, contractors, volunteers, successors and assigns from all liability arising from or related to the Agreement, the Program, Recipient's participation in the Best Friends network, and any work or activities related thereto, including, without limitation, any liability for bodily injury, personal injury, illness, death, property damage or other damage or loss of any kind or nature whatsoever, direct or indirect, known or unknown. Recipient understands this Agreement discharges Best Friends and its directors, founders, employees, officers, agents, representatives, contractors, volunteers, successors and assigns from any liability to Recipient with respect to bodily injury, personal injury, illness, death, property damage or other loss of any kind or nature whatsoever, direct or indirect, known or unknown, that may result as a result of Recipient's work, participation and activities related to this project and the Best Friends network.

Section 13. Indemnity Agreement

Recipient and its directors, officers, agents, employees, representatives, successors and assigns, agree to indemnify and hold Best Friends harmless from all claims for all bodily injury, personal injury, illness, death, property damage or other damages or losses of any kind or nature whatsoever, direct or indirect, known or unknown, including attorney's fees and costs of litigation that result to anyone else or any other entity because of actions or omissions related to the funded project and any breach by Recipient of any provision of this Agreement. This includes lone acts or omissions by Recipient as well as the combined acts of Recipient with others.

Section 14. Survival of Terms

The intellectual property rights, including the rights to use photos, digital, audio and video materials, agreed to in this Agreement are perpetual. The releases and indemnity Agreements are perpetual. The Non-Disparagement clause survives for three years following the last disbursement from Best Friends to Recipient.

Section 15. Proprietary Information

Recipient acknowledges and agrees that the following constitute "Proprietary Information": any secret or proprietary information relating directly to Best Friends business, including, but not limited to, the Best Friends network and donation process, services, members, donor and volunteer lists, business policies, employment records and policies, operational methods, marketing plans and strategies, business development plans, new personnel acquisition plans, technical processes, designs and design projects, inventions and research programs, trade know-how, trade secrets, specific software, algorithms, computer processing systems, object and source codes, user manuals, systems documentation, and other business and financial affairs of Best Friends. It is not anticipated that Recipient will have access to Best Friends proprietary information as a result of this Agreement. Nonetheless, Recipient acknowledges and agrees that in the event Recipient learns of or comes into possession of any Best Friends proprietary information, Recipient will notify Best Friends and return said information. Recipient agrees that it will not use, supply or disclose any Proprietary Information it happens to learn of to any third Party.

Section 16. Additional Grant Funding and Requirements

As set forth above, Recipient acknowledges and agrees that, unless specifically provided in this Agreement, Best Friends and its representatives have made no actual or implied promise of any additional grant funding.

At the sole discretion of Best Friends, Recipient may be selected to receive an additional monetary grant from Best Friends during the Grant Period of this Agreement. In such event, the Parties will mutually agree in writing upon any additional reporting or other obligations Recipient will have associated with such grant funds. Recipient will be informed if grant funds will be disbursed using a schedule and will be subject to Recipient meeting specific reporting or other obligations. Any such additional grant funds must be used for the purposes agreed to by the Parties. The provisions of this Agreement will apply in connection with all uses of any grant funds provided by Best Friends during the Grant Period of this Agreement, unless Recipient and Best Friends have entered into a separate agreement specifically related to such grant.

Section 17. Other Terms

These contract terms bind the successors and assigns of Recipient. Each term of this Agreement is material. Recipient expressly agrees the releases and indemnity Agreement are intended to be as broad and inclusive as permitted by law. Recipient agrees that in the event that any clause or provision of this Agreement shall be held to be invalid by any court of competent jurisdiction, the invalidity of such clause or provision shall not otherwise affect the remaining provisions of this Agreement. This is the entire Agreement between the Parties and supersedes any other verbal or written statements, representations, or promises.

This Agreement shall not be construed to constitute any form of partnership, agency or joint venture between Best Friends and Recipient. Neither Party is responsible in any way for the debts of the other or any other Party, or any breach of any law, rule, regulation, complaint, grievance, custom, or guideline of the other. Neither Party has authority to bind the other to any contractual or other Agreements and in no event shall either Party represent or hold itself out as acting on behalf of the other Party hereto.

This Agreement shall be governed by and interpreted in accordance with the laws of the State of Utah. Any disputes arising out of or related to this Agreement will be resolved in a Utah State Court of competent jurisdiction in Kane County, Utah.

By signing below, Recipient and Best Friends acknowledge and agree to the terms of this Agreement. If signing electronically, the Parties acknowledge that they have read this Agreement and indicate their intent to electronically sign and be bound by the terms and conditions therein. They agree that their electronic signatures are intended to authenticate this writing and to have the same force and effect as a manual signature for purposes of validity, enforceability, and admissibility.

White County Animal Control

By:

Name:

Title:

Date:

Best Friends Animal Society

By:

Name:

Title:

Date:

Addendum 1

Shelter: White County Animal Control

Subject: Community Cat Pilot Program Policy & Procedure

Effective Date: March 15, 2024

- I. **PURPOSE:** The purpose of this document is to outline the procedures followed for the community cat pilot program at White County Animal Control.
- II. **BACKGROUND:** Current research shows that community cat programs are the most humane, effective and economical way to manage free-roaming cat populations while reducing their impact on wildlife populations and public health. The focus of these programs is to do what is best for healthy outdoor cats and the community by sterilizing, vaccinating, and returning healthy cats to their outdoor homes. A well-implemented community cat program allows for the reduction of euthanasia of cats in shelters while also decreasing the need for impoundment of healthy cats from the community.
- III. **POLICY SUMMARY:** It is the policy of White County Animal Control that all cats that are deemed eligible for the community cat program, following national best practices and following all state, county and city codes and ordinances, are expedited through the program in lieu of impoundment. Ideally, impoundment of all healthy outdoor cats will be diverted to outside surgery providers for TNVR.
- IV. **ELIGIBILITY GUIDELINES:**
 - A. Healthy outdoor cats with no owner identification (microchip or tags) from all White County service areas. Assess eligibility using the [CCP Decision Flowchart Guidelines for Adults](#) and the [CCP Decision Flowchart Guidelines for Kittens](#).

- B. Cats should be aged 4-months or older. Kittens that are 4-months or younger or are otherwise not eligible for the community cat program should be assessed using [Kitten Intervention Guidelines](#).
- C. Cats with some medical issues may qualify using [Community Cat Program Medical Guidelines](#).
- D. Temperament is not a factor for eligibility
- E. Cat must have accurate and verifiable address information

V. PROCEDURES:

- A. Animal Control Officers will not pick up *eligible* cats that were trapped by the public and the shelter will not impound *eligible* cats from the public unless the purpose is for participation in the community cat program.
- B. [Stray Cat Intake Form](#) with accurate & complete address from the location where the cat was found is required for all cats, regardless of eligibility.
- C. Eligible cats will receive FVRCP vaccine, rabies vaccine, ear-tip, and sterilization. If required, treatment for minor medical issues will be provided as well.
- D. The cat will be returned to the location where it was originally found, generally within 24 hours following services.

VI. ADDITIONAL GUIDELINES:

- A. When necessary, reasonable efforts to provide deterrents and nuisance mitigation resources will be offered to the public, as well as education on being a considerate caregiver.
- B. When possible, or as necessary, canvassing in communities should be utilized to offer additional resources in high priority areas.

VII. RELATED RESOURCES:

- A. [National Animal Care & Control Association \(NACA\)](#)
- B. [National Feline Research Council](#)
- C. [Best Friends Animal Society's Community Cat Program Handbook](#)
- D. [International Municipal Lawyers Association \(IMLA\) A Community Issue, A Community Solution: Robust Cat Management Programs](#)
- E. [American Bar Association's Resolution 102B](#)

COMMUNITY CAT PROGRAMMING

Free-roaming or stray cats (aka community cats) often make up a large percentage of the animals dying in shelters. Because these cats are often not socialized, they are not appealing to adopters and often end up not making it out alive. Research has shown that the cost to impound, care for, and kill cats is roughly two to three times the cost to sterilize, vaccinate, and return them to their original location in the community. And surveys show that the public prefers these trap-neuter-return (TNR) programs nearly three-to-one over impoundment and killing.



Reduction in Nuisance Complaints

Done properly, TNR is effective at humanely managing and reducing the population of community cats, and offers the additional benefit of reducing nuisance complaints. The surgical sterilization of cats (spaying females and neutering males) eliminates the production of the hormones estrogen and testosterone, which reduces the likelihood of various mating-related behaviors (yowling, fighting, spraying, etc.) that lead to such complaints.



Prevents Overpopulation and Supports Public Health

Trap-neuter-return (TNR) is the only humane and effective way to reduce the number of community cats. With TNR, community cats are humanely trapped, evaluated and spayed or neutered by a licensed veterinarian, ear-tipped to show they've been sterilized, vaccinated against rabies and distemper, and then returned to their original outdoor homes to live out their lives. Sick and injured cats and those involved in bite or cruelty cases may still be picked up by animal control. Those cats that must be impounded will be returned to their original location if possible.



Proven Successes

Counties in Georgia that have implemented a Community Cat Program successfully include Fulton, DeKalb, Gwinnett, Cobb, Floyd, Chatham, Habersham, Hall, Rabun, Forsyth, Murray, Whitfield, Newton, Greene, Thomas, Liberty, Grady, Tift, Decatur, Dougherty, Camden, Muscogee, Statesboro, Bullock, Douglas, Carroll, Athens-Clarke County, and many others.

“indiscriminate pick up or admission of healthy, free-roaming cats, regardless of temperament, for any purpose other than [TNVR]... fails to serve commonly held goals of community animal management and protection programs and, as such, is a misuse of time and public funds and should be avoided.”

— National Animal Care & Control Association



TNVR and Public Health

WHAT IS TNVR?

Trap-neuter-vaccinate-return (TNVR) was first introduced during the 1950s in Britain, and then in Denmark during the 1970s. The practice was introduced in the U.S. around the same time but remained largely “underground” until the early 1990s [1]. The first large U.S. city to embrace TNVR as a fundamental part of its approach to animal sheltering was Jacksonville, Florida, in 2008, followed by San José, California, in 2010 [2,3]. Today, TNVR is commonplace across the U.S., in communities large and small, urban and rural.

TNVR is simple: cats are humanely trapped, evaluated by veterinary professionals, vaccinated against the rabies virus,* spayed or neutered, and returned to where they were trapped, unable to have kittens. Targeted TNVR programs offer a commonsense, effective, and economical alternative to the traditional “catch-and-kill” approach. Mark Kumpf, former president of the National Animal Care & Control Association (NACA), compared the traditional method for managing cats to “bailing the ocean with a thimble.”

“There’s no department that I’m aware of that has enough money in their budget to simply practice the old capture-and-euthanize policy, nature just keeps having more kittens.” [4]

In 2021, NACA revised its policy on Animal Control Intake of Free-Roaming Cats, highlighting the benefits of TNVR [5].

“indiscriminate pick up or admission of healthy, free-roaming cats, regardless of temperament, for any purpose other than [TNVR]... fails to serve commonly held goals of community animal management and protection programs and, as such, is a misuse of time and public funds and should be avoided.”

— National Animal Care & Control Association

*The FVRCP (feline viral rhinotracheitis, calicivirus and panleukopenia) vaccine is also recommended.

In 2017, the American Bar Association approved a resolution “support[ing] the recognition of [TNVR] as a population management technique... [and] supports the adoption of laws and policies supportive of [TNVR] programs with the intent of decreasing community cat populations and improving public health and safety...” [6].

- Rural North Carolina: 36% average reduction in six groups of sterilized cats over the first two years; meanwhile, the population of three unsterilized groups increased by 47% [8]. Additional reductions among the sterilized groups were documented during four- and seven-year follow-up censuses [9].



THE MANY BENEFITS OF TNVR

As the following summary illustrates, TNVR offers many benefits—not only to the cats but to communities and their animal shelters.

Reducing community cat populations

A number of peer-reviewed studies have shown that targeted TNVR can reduce community cat populations. For example:

- Computer modeling suggests that population reductions are achievable if at least 40% of the unsterilized portion of a given population is sterilized every six months [7]. For a group of 10 cats, that’s three cats in the first six months, two cats in the following six months, and so forth.
- Chicago, Illinois: a neighborhood TNVR program (comprised of 20 groups of cats) resulted in an average 54% decrease from initial population levels and an average 82% decrease from their peak levels [10].
- University of Central Florida: population reduction of 66% over the first six years tracking data was available, from 68 to 23 cats [11]. Over the subsequent 17 years, the program further reduced the population of free-roaming cats by 57%, from 23 to 10 cats [12].
- Key Largo, Florida: 55% reduction in community cat numbers over 14 years, from 455 to 206 cats [13].

- Newburyport, Massachusetts: TNVR reduced and, after 17 years, eliminated, an estimated 300 cats from the city's waterfront [14].

More effective than removal

For years, the standard response to community cats was removal—despite a lack of evidence that it reduced their numbers. Targeted TNVR, by contrast, has been shown to reduce community cat populations.

- Louisiana hospital: reduced the original population of free-roaming cats by 25% (from 40 cats to 30), and the overall population by 10% (due to the arrival of six new cats) over three years. No new litters of kittens were reported during this same time period. Prior to the program's implementation, several cats had been removed annually but "a noticeable reduction in overall numbers was never achieved" [15].
- Researchers have found that "low-level ad hoc culling of feral cats" is ineffective at reducing their numbers. This might actually lead to their increase due to "influxes of new [adult] individuals after dominant resident cats were removed" [16].
- More intensive culling has also proven ineffective. Removal of "an estimated 44% of the population" (based on camera trap data) failed to provide any long-term benefit. "Three months after the end of the culling campaign that eliminated 36 cats... no meaningful differences in the relative abundance and density of feral cats were observed in response to culling..." [17].

Decreased shelter intake and euthanasia

Targeted TNVR has also been shown to reduce shelter intake and euthanasia, as the following research studies demonstrate:

- Alachua County, Florida: 66% reduction in shelter intake of cats from a "target" zip code of focused TNVR efforts; intake from the remainder of the county decreased just 12% over the same two-year period [20].
- San José, California: 14% reduction in feline intake four years after implementing its shelter-based TNVR program [21].
- Best Friends' six large-scale, three-year programs integrating community- and shelter-based TNVR: median reduction of 32% (range: 1–45%) in feline intake. In addition, we observed a 40% median reduction in the number of kittens entering the shelters involved—suggesting that the programs had positive population-level impacts [22,23].
- Louisville Metro Animal Services (concurrent community- and shelter-based TNVR programs): euthanasia declined by 94% and feline admissions dropped by 43% over an eight-year period [24].
- Reduced euthanasia is likely to reduce workplace stress on government or private shelter staff [25]. Such occupational hazards can have direct—and potentially costly—consequences for the organizations: "Excessive employee turnover can create a host of strains on an organization—especially if the organization is understaffed and underfunded as are many animal shelters" [26].

"TNR can be an effective method for both reducing feral cat populations and reducing the number of cats and kittens entering local animal shelters."

— National Feline Research Council

- Population reductions benefit wildlife, too. Since at least 2005, a TNVR program has been in place on the campus of the University of KwaZulu-Natal's Howard College (in Durban, South Africa), which is recognized as an "urban conservancy... interspersed with conservation-sensitive natural bush habitat and a nature reserve on the northern border" [18]. Sterilization efforts led to a 38% reduction in the number of cats on campus (from 55 to 34) after four years [18,19].

Improved public health

- Rabies in domestic animals was once relatively common; however, data compiled by the CDC show that nearly 93% of rabies cases in the U.S. occur in wildlife [27].
- TNVR programs protect public health by creating a powerful barrier between wildlife and humans—and not every cat needs to be vaccinated to achieve "herd immunity" [28].

- Between 1975 and 2018 (the latest year for which data are available), the CDC has documented 115 cases of human rabies in the U.S. — most of which were attributed to contact with wildlife. Of the 26 cases attributed to domestic animals, 25 were attributed to dogs (nearly all exposures occurred outside the U.S.) Just one case was attributed to contact with a cat [29].
- A study of patients seeking post-exposure treatment at 11 emergency departments found that 81% of 2,030 exposures were attributed to dogs while just 13% were attributed to cats [30]. Moreover, 499 of 1,499 dog exposures (33%) occurred in the public street or park, compared to 29 of 248 cat exposures (12%); by contrast, 358 of 1,499 dog exposures (24%) occurred in the home, compared to 132 of 248 cat exposures (53%) [31].
- number of complaints... [cats] who remain are less of a nuisance than previously they were” [33].
- Gillis W. Long Hansen’s Disease Center (Carville, Louisiana): “unwanted noise from cats fighting and from mating calls was commonly heard during nocturnal visits to the cats’ living areas before the study. Three years later, nocturnal vocalizing had been greatly reduced and was not detected by the authors at any time during the three-year census” [15].
- Orange County, Florida: “Complaints have decreased gradually, and only rarely has it been necessary to move colonies... despite the change broadening the definition of a nuisance complaint in the last two years, complaints decreased in FY 2000/2001. There were no changes in procedure or code to account for this decrease” [34].



Reductions in nuisance complaints

Published research studies indicate that targeted TNVR efforts can reduce nuisance complaints, as these programs “not only address the overpopulation issue by preventing new litters, but also serve to reduce roaming, spraying of urine, and fighting among the cats” [32].

- Texas A&M campus: researchers documented the removal of more than one-third of the free-roaming cats for adoption following the implementation of a TNVR program “based on the decrease in the

- Alachua County, Florida: fewer nuisance complaints likely contributed to a 66% reduction in shelter admissions from the target zip code [20].

Cost-effectiveness

Recent computer modeling from the Alliance for Contraception in Cats & Dogs shows that sterilizing 75% of cats in a particular population every six months is more cost-effective than many lower-intensity lethal removal scenarios. The researchers acknowledge that

this requires a “disproportionate investment of time and resources during the early management period,” but point out that “these expenditures are compensated for by cost savings at later time periods and by lower final abundances for a given overall investment” [35]. Empirical evidence, too, has demonstrated the cost-effectiveness of targeted TNVR:

- Orange County, Florida: Data compiled over 12 years (six prior to the program’s implementation and six afterward) were used to estimate and compare costs associated with impoundment/killing and TNVR. The average cost of sterilization and vaccination was estimated to be \$56 while “the average total cost per impounded animal for impounding, sheltering, and processing the [nuisance] complaint was \$139.” As a result, the TNVR program saved taxpayers an estimated \$656,000 over the course of 12 years [34].
- Cook County, Illinois (six years after implementation): TNVR program had “saved the county over \$1.5 million, primarily resulting from having fewer feral cats to euthanize” based on an estimated \$135 for trapping, impounding, and killing each cat [36].
- Hillsborough County, Florida: cost to sterilize and vaccinate cats to be \$65 per cat “as opposed to \$168 for [HCAS] picking-up, handling, and disposing of an animal” [37].
- San José, California: approximately \$72 per cat” for “vaccinations against rabies and other common cat disease, flea treatment, ear treatment, microchip, and ear-tipping” [2].

SUMMARY

Targeted TNVR offers several benefits, including reduced community cat populations, reduced shelter intake and euthanasia, improved public health, reduced nuisance complaints, and cost-effectiveness. No wonder TNVR has become commonplace across the country, in communities large and small, urban and rural.

ABOUT BEST FRIENDS

Founded in 1984, Best Friends Animal Society is a leading national animal welfare organization dedicated to saving the lives of dogs and cats in America’s shelters. Best Friends operates one of the nation’s largest sanctuaries for companion animals and has helped reduce the number of lives unnecessarily lost in shelters nationwide from an estimated 17 million per year to around 733,000. Sadly, around 114,000 of those pets were right here in Texas. But that’s about to change: Best Friends has a long history of working in the Greater Houston area. We have invested more than \$8 million through 2019—about \$3.8 million alone following Hurricane Harvey alone. We’ve helped increase the save rate for Houston area pets from 67% in 2016 to 94% in 2021. With Greater Houston leading the way, Texas can become a model state when it comes to saving lives.



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WHITE COUNTY

Board of Commissioners

Item Title: Courtroom Audio Visual Upgrades - Enotah ARPA Grant

For Meeting Date: 10/2/2023

Work Session **Regular Meeting** **Public Hearing**

Category (Select One): Other

Submitted By: Jodi Ligon

Attachments: Yes **If yes, please list each file name below:**

1. White County GSC ARPA Courtroom AV Upgrades
2. _____
- 3.

Purpose:

To approve proposal from S&L Integrated for AV upgrades

Background / Summary:

- The Enotah Judicial Circuit was awarded \$1,653,313 in ARPA (American Rescue Plan Act) funds for calendar year 2024. \$1,307,012 is for audio visual courtroom upgrades for Lumpkin, White and Union counties.
- The grant covers audio-visual equipment modernization in existing courtrooms.
- White County's AV portion of the grant is \$272,496.
- S&L Integrated is a state contract vendor - proposal is based on state contract pricing
- White County will submit a 50% deposit to S&L. Then a reimbursement request is submitted to the ARPA grant. The grant reimbursement will be received prior to S&L ordering equipment and beginning the project.

Department Recommendation:

To approve audio visual courtroom upgrades.

Options:

- Approve proposal
- Deny proposal

Budget Information: Applicable Not Applicable

Budgeted: Yes No

Finance Director's Comments (if applicable):

- The County will submit 50% deposit of \$136,248 to S&L but will receive reimbursement from grant before any work begins.

County Manager Comments:

-



AUDIO VIDEO LIGHTING



White County Courts

59 S Main St B
Cleveland, GA 30528 USA

GSC - White County ARPA
Courtroom AV Upgrades

Presented To:

Proposal #: 14098

Printed on 2-15-2024

WHY S&L INTEGRATED

At S&L, we strive to design and develop intelligent but easy-to-use audio visual systems to enhance our clients' lives and workplaces.



What We Do

We provide state-of-the-art audiovisual technology tailored to your specific needs. Our team of experts assists you in selecting the perfect technology solutions. We handle the installation and setup, ensuring a hassle-free experience for users. S&L also offers training and ongoing support to help you maximize the potential of your new technology.

Who We Are

At S&L, we are dedicated to providing exceptional audiovisual integration solutions. Our team of experts has years of experience in the industry and is passionate about delivering customized solutions that meet your unique needs and budget. With a focus on quality, reliability, and customer satisfaction, we work closely with our clients to design, install, and support cutting-edge audiovisual systems.



ONE TEAM

We work together to achieve inspiring results.



ONE VISION

We meet or exceed every Client's expectations.



ONE BUTTON

We develop simplified communications solutions for every Client.

PROJECT WORKFLOW



CUSTOMER SIGN OFF

After the contract is signed, the customer provides an initial deposit, if required.



PROJECT KICK OFF

Transition from Sales to Technical Services. Details of the job scope are discussed and a timeline is created.



PLANNING, ORDERING, AND ENGINEERING

The Project Manager schedules a Tech Team for the job and the Purchasing Department orders materials. Engineering reviews and tests the system design.



INSTALLATION

Technicians arrive on the job site and complete the scope of work.



COMMISSIONING AND TRAINING

Final check to ensure the system is functioning properly. An S&L Trainer teaches the customer how to operate the system.



WARRANTIES AND SERVICE

S&L provides a Standard Warranty on labor and installation. We also offer an extended service agreement called Client Care.



AUDIO VIDEO LIGHTING

S&L SERVICE CONTRACTS

CLIENT CARE

Client Care is offered as a value-added service to ensure the protection and maintenance of your AV systems. Keeping your system operating efficiently is important to your organization. Providing you with that peace of mind is our goal. Client Care includes coverage for unlimited service calls, repairs, warranty support, equipment replacement discounts, and remote monitoring.

REMOTE MONITORING

Remote Monitoring is offered as a feature of Client Care or by itself. Automated Remote Monitoring allows us to receive alerts from your AV system when problems occur and easily maintain and monitor the system remotely. This allows us to be proactive in learning about issues and resolving them.

ADD-ON FEATURES

Preventative Maintenance

An on-site visit to inspect, clean, and perform routine maintenance tasks to ensure that the equipment is functioning properly and prevent major malfunctions or breakdowns.

Emergency Response

Immediate technical support in the event of a critical malfunction or failure of AV equipment.

Georgia State Contract - Audiovisual Equipment and Related Services - 99999-SPD-SPD0000210-0015

Per Circuit Request, No materials will be ordered until after the Circuit submits a Deposit Reimbursement Request and receives payment from the State.

Large Courtroom & Courtroom 2

Judge's Bench

- Touch panel
 - High Level Touch Panel Overview:
 - Video Source Selection
 - Video Blackout – stops all video output
 - Program Audio Control
 - Individual Microphone Control
 - Sound Masking Engine – Enable/Disable
 - Stops microphone output in the room, but continues microphone signal propagation to the court reporter
 - Plays masking audio through the system speakers
 - Start / Stop Streaming – if streaming option selected
- Monitor to display shared content
- Desktop mounted speaker for voice lift
- Microphone with pushbutton mute base
- Sidebar microphone
- Sidebar microphone intended to capture sidebar conversations for the record - this feature will not amplify sidebar conversations within the room
- HDMI presentation input

Witness Stand

- Monitor to display shared content
- Microphone in shock mount
- Microphone requires a hole to be drilled in witness stand table
- Desktop mounted speaker for voice lift

Clerk's Desk

- Microphone with pushbutton mute base
- Desktop mounted speaker for voice lift

Evidence Presentation

- Lectern provided in quote
- Includes document camera shelf and cable pass through cubby
- HDMI presentation input
- Document camera
- Microphone with pushbutton mute base

Jury Box

- Rail mounted foreman microphone
- Microphone requires a hole to be drilled in jury rail

Lawyer Tables (Typical of 2)

- Microphone with pushbutton mute base

Court Reporter Desk

- Touch panel
 - Panel will allow for microphone volume control of signals feeding the headphone amplifier mentioned below
 - Sources being sent to the recording will not be affected by touch panel control
- USB or Dante connection (client choice based on recording software)
 - This connection will be capable of giving up to 8 discrete audio sources to the court reporter software
 - The court reporter software must accept standard multi-channel USB or Dante audio interfaces as an input device
- Headphone amplifier
 - This unit will give the court reporter the ability to hear a summed mix of the microphone volumes being affected on the touch panel
- Price assumes the court reporter can use USB to capture audio and will not require analog connections to an outboard audio interface

Display Location(s)

- Large format flat panel(s) on articulating arm on wall behind Judge's bench
- Price assumes the selected wall is structurally sound and can support display weight
- Display(s) will show content shared from the Judge's Bench or Evidence Presentation Lectern

In-Room Audio Reinforcement (Large Courtroom)

- Column array speakers mounted on wall behind Judge's bench

In-Room Audio Reinforcement (Courtroom 2)

- (4) Ceiling speaker zones
- Judge Zone – above Judge's Bench and Witness Stand
- Jury Zone – above Jury Box
- Lawyer Zone – above lawyer tables and evidence presentation lectern
- Gallery Zone – above gallery

Analog Press Feed

- Mono audio output plate for connection to standard press capture equipment
- Location of press feed to be determined before installation

Rack Location

- Location requires (2) 120V 20A dedicated branch circuits at 18" AFF provided by others
- Location requires (2) data connections to client network
- Location minimum height must be 8'
- Location required sufficient ventilation and must be climate controlled
- Location of rack to be determined before installation

Overall

- Price assumes client IT staff will allow remote management protocols to be present on the network
- Price assumes power and data at required locations will be provided by others
- Price assumes work will take place between the hours of 8AM and 5PM Monday through Friday excluding federal holidays
- Price assumes supporting structure can handle load of all equipment (including ceiling joists, walls, etc.)
- Price assumes any modification to supporting structure will be provided by others
- Price assumes unescorted physical access devices (keys, key cards, etc.) for site and any room or space will be provided by the client prior to installation
- Price assumes temporary or long-term parking for loading and unloading equipment is available during installation
- Price assumes finish surface repair (ceiling tiles, hard ceilings, wall coverings, floor coverings) will be provided by others
- Price assumes cable pathways between device locations exist or can be easily created without additional material – if this is not the case price assumes pathways will be provided by others
- Price assumes any owner furnished equipment is in proper working order and will be supplied by the customer prior to installation

Selected Options

Agnostic VTC

- Install (4) cameras to capture
 - Judge
 - Witness
 - Lawyer Left Table
 - Lawyer Right Table
- Camera views will be processed into a single quad view image
- Audio via system microphones
- This feature requires an owner furnished PC to be located at the Judge's Bench with appropriate conferencing software installed to be tested during installation
- This feature requires the user to select the proper camera / microphone / speakers in the chosen software
- No call controls will be available on the system touch panel
- Any evidence presentation must be made from the owner furnished VTC PC by sharing the local screen, no system video inputs will be available

Streaming

- Install (1) camera in the rear of the room to capture court proceedings
- Audio via system microphones
- This feature requires a client owned streaming account (YouTube, Vimeo, etc.) that can be streamed to without generating a new stream key with each instance
- If the streaming account capability matches the above requires a start / stop stream button will be available on the system touch panel

PURCHASED EQUIPMENT

PART NUMBER	MANUFACTURER	DESCRIPTION	QTY	UNIT PRICE	TOTAL PRICE
LARGE COURTROOM					
JUDGE'S BENCH					
DG-PSP1_RDDL	Radio Design Labs	Decora-Style Active Loudspeaker - Gray - User Level Adjust	1.00	\$250.80	\$250.80
MG18HC_AUDX	Audix	MIC, POD, 18" GNECK, H-CARD, BLK, RF	1.00	\$294.63	\$294.63
ATS1_AUDX	Audix	STAND, TBL MNT, SHK ABSOR, WITH ON/OFF	1.00	\$231.94	\$231.94
PS-24AS_RDDL	Radio Design Labs	24 Vdc Switching Power Supply, North American AC Plug, 500 mA, dc Plug	1.00	\$32.12	\$32.12
ADX60_AUDX	Audix	MIC, BNDRY PLATE, CARD W/APS910 PWR ADAP	1.00	\$193.05	\$193.05
DC-1B_RDDL	Radio Design Labs	Single Desktop or Wall Mounted Chassis for Decora Remote Controls and Panels - black	1.00	\$72.48	\$72.48
CP-1B_RDDL	Radio Design Labs	Single Cover Plate - black	1.00	\$13.40	\$13.40
DuetE-2_VIS	Visionary Solutions	A/V Encoder, 4K UHD over IP cinema quality ultra-low latency visually lossless switch matrix routabl	1.00	\$1,342.50	\$1,342.50
DuetD-2_VIS	Visionary Solutions	A/V Decoder, 4K UHD over IP cinema quality ultra-low latency visually lossless switch matrix routabl	1.00	\$1,342.50	\$1,342.50
24BK430H-B	LG	24" class IPS HDR FHD Monitor	1.00	\$167.69	\$167.69
OSI_WS-03S	Wearson	Low Profile Vesa Stand All Metal Holder Sturdy with VESA 75x75 100x100mm1	1.00	\$59.99	\$59.99
C2G10378_C2G	C2G	10ft/3m Ultra Flexible HDMI Cable 4K	2.00	\$21.56	\$43.12
TSC-101-G3_QSC	QSC	Q-SYS 10.1 PoE Touch Screen Controller for In-Wall Mounting. Color - Black only	1.00	\$2,472.60	\$2,472.60
TSC-710t-G3_QSC	QSC	Table top mounting accessory for TSC-70-G3 and TSC-101-G3.	1.00	\$354.90	\$354.90
RLNK-215_MDLA	Middle Atlantic	15A2 OUTIP CTRL POWER	1.00	\$236.25	\$236.25
MISC-EXPENSE	S&L	CUSTOM WALLPLATE	1.00	\$298.51	\$298.51
VAC-12HUC_MRSHL	Marshall	HDMI to USB-C Converter (USB3.0/2.0)	1.00	\$375.00	\$375.00
TX-A2_RDDL	Radio Design Labs	Audio Converter Balanced to Unbalanced - Terminals, dual-RCA	1.00	\$124.94	\$124.94
OSI_DB6BNCHD-25	West Penn	BNC HD Comp RG6/U Double Bubble	1.00	\$63.28	\$63.28
JUDGE'S BENCH SUBTOTAL					\$7,969.70
WITNESS STAND					
DG-PSP1_RDDL	Radio Design Labs	Decora-Style Active Loudspeaker - Gray - User Level Adjust	1.00	\$250.80	\$250.80
PS-24AS_RDDL	Radio Design Labs	24 Vdc Switching Power Supply, North American AC Plug, 500 mA, dc Plug	1.00	\$32.12	\$32.12
DC-1B_RDDL	Radio Design Labs	Single Desktop or Wall Mounted Chassis for Decora Remote Controls and Panels - black	1.00	\$72.48	\$72.48
CP-1B_RDDL	Radio Design Labs	Single Cover Plate - black	1.00	\$13.40	\$13.40
MG18_AUDX	Audix	MIC, POD 18 " GNECK CARD COND, BLK	1.00	\$276.72	\$276.72
SMT1218R_AUDX	Audix	MOUNT, TABLE,FLANGE,W/RUBBER INSULATOR,	1.00	\$28.66	\$28.66
D4100_VIS	Visionary Solutions	A/V Decoder, 4K UHD over IP cinema quality ultra-low latency visually lossless switch matrix routabl	1.00	\$892.50	\$892.50
MISC-EXPENSE	S&L	CUSTOM WALLPLATE	1.00	\$139.03	\$139.03
E351600_ELO	Elo Touch Solutions	2202 TouchSc PCAP Black VGA HDMI	1.00	\$561.19	\$561.19
OSI_WS-03S	Wearson	Low Profile Vesa Stand All Metal Holder Sturdy with VESA 75x75 100x100mm1	1.00	\$59.99	\$59.99
USB2001EXTV_STRT	STARTECH.COM	CONNECT A USB 2.0 DEVICE TO YOUR COMPUTER OVER LONG DISTANCES USING THIS SINGLE-	1.00	\$158.25	\$158.25
WITNESS STAND SUBTOTAL					\$2,485.14

LARGE COURTROOM

CLERK'S DESK

DG-PSP1_RDDL	Radio Design Labs	Decora-Style Active Loudspeaker - Gray - User Level Adjust	1.00	\$250.80	\$250.80
PS-24AS_RDDL	Radio Design Labs	24 Vdc Switching Power Supply, North American AC Plug, 500 mA, dc Plug	1.00	\$32.12	\$32.12
DC-1B_RDDL	Radio Design Labs	Single Desktop or Wall Mounted Chassis for Decora Remote Controls and Panels - black	1.00	\$72.48	\$72.48
CP-1B_RDDL	Radio Design Labs	Single Cover Plate - black	1.00	\$13.40	\$13.40
MG18HC_AUDX	Audix	MIC, POD, 18" GNECK, H-CARD, BLK, RF	1.00	\$294.63	\$294.63
ATS1_AUDX	Audix	STAND, TBL MNT, SHK ABSOR, WITH ON/OFF	1.00	\$231.94	\$231.94
MISC-EXPENSE	S&L	CUSTOM WALLPLATE	1.00	\$139.03	\$139.03
				CLERK'S DESK SUBTOTAL	\$1,034.40

EVIDENCE PRESENTATION

MG18HC_AUDX	Audix	MIC, POD, 18" GNECK, H-CARD, BLK, RF	1.00	\$294.63	\$294.63
ATS1_AUDX	Audix	STAND, TBL MNT, SHK ABSOR, WITH ON/OFF	1.00	\$231.94	\$231.94
DuetE-2_VIS	Visionary Solutions	A/V Encoder, 4K UHD over IP cinema quality ultra-low latency visually lossless switch matrix routabl	1.00	\$1,342.50	\$1,342.50
RLNK-215_MDLA	Middle Atlantic	15A2 OUTIP CTRL POWER	1.00	\$236.25	\$236.25
MISC-EXPENSE	S&L	CUSTOM WALLPLATE	1.00	\$139.03	\$139.03
PD3003BKL_AVF	AVF	Economy Podium	1.00	\$1,367.16	\$1,367.16
RMT14_AVF	AVF	14RU RR Frame Retrofit Kit	1.00	\$146.27	\$146.27
HCD_HVCM	HoverCam	HoverCam DUO - HDMI, VGA, USB 3.0, 12MP	1.00	\$898.50	\$898.50
C2G10378_C2G	C2G	10ft/3m Ultra Flexible HDMI Cable 4K	2.00	\$21.56	\$43.12
E351600_ELO	Elo Touch Solutions	2202 TouchSc PCAP Black VGA HDMI	1.00	\$561.19	\$561.19
OSI_WS-03S	Wearson	Low Profile Vesa Stand All Metal Holder Sturdy with VESA 75x75 100x100mm1	1.00	\$59.99	\$59.99
USB2001EXTV_STRT	STARTECH.COM	CONNECT A USB 2.0 DEVICE TO YOUR COMPUTER OVER LONG DISTANCES USING THIS SINGLE-	1.00	\$158.25	\$158.25
D4100_VIS	Visionary Solutions	A/V Decoder, 4K UHD over IP cinema quality ultra-low latency visually lossless switch matrix routabl	1.00	\$892.50	\$892.50
				EVIDENCE PRESENTATION SUBTOTAL	\$6,371.33

JURY BOX

MG18HC_AUDX	Audix	MIC, POD, 18" GNECK, H-CARD, BLK, RF	1.00	\$294.63	\$294.63
SMT1218R_AUDX	Audix	MOUNT, TABLE,FLANGE,W/RUBBER INSULATOR,	1.00	\$28.66	\$28.66
				JURY BOX SUBTOTAL	\$323.29

LAWYER TABLE LEFT

MG18HC_AUDX	Audix	MIC, POD, 18" GNECK, H-CARD, BLK, RF	1.00	\$294.63	\$294.63
ATS1_AUDX	Audix	STAND, TBL MNT, SHK ABSOR, WITH ON/OFF	1.00	\$231.94	\$231.94
MISC-EXPENSE	S&L	CUSTOM WALLPLATE	1.00	\$111.94	\$111.94
				LAWYER TABLE LEFT SUBTOTAL	\$638.51

LAWYER TABLE RIGHT

MG18HC_AUDX	Audix	MIC, POD, 18" GNECK, H-CARD, BLK, RF	1.00	\$294.63	\$294.63
ATS1_AUDX	Audix	STAND, TBL MNT, SHK ABSOR, WITH ON/OFF	1.00	\$231.94	\$231.94
MISC-EXPENSE	S&L	CUSTOM WALLPLATE	1.00	\$111.94	\$111.94
				LAWYER TABLE RIGHT SUBTOTAL	\$638.51

COURT REPORTER DESK

USB2001EXTV_STRT	STARTECH.COM	CONNECT A USB 2.0 DEVICE TO YOUR COMPUTER OVER LONG DISTANCES USING THIS SINGLE-	1.00	\$158.25	\$158.25
DB-SH1_RDDL	Radio Design Labs	Stereo Headphone Amplifier - Decora panel with user level control - Black	1.00	\$204.06	\$204.06
PS-24AS_RDDL	Radio Design Labs	24 Vdc Switching Power Supply, North American AC Plug, 500 mA, dc Plug	1.00	\$32.12	\$32.12
				LARGE COURTROOM SUBTOTAL	\$105,802.34

LARGE COURTROOM

COURT REPORTER DESK

DC-2B_RDDL	Radio Design Labs	Double Desktop or Wall Mounted Chassis for Decora Remote Controls and Panels - black	1.00	\$91.10	\$91.10
CP-2B_RDDL	Radio Design Labs	Double Cover Plate - black	1.00	\$14.57	\$14.57
24BK430H-B	LG	24" class IPS HDR FHD Monitor	1.00	\$167.69	\$167.69
OSI_WS-03S	Wearson	Low Profile Vesa Stand All Metal Holder Sturdy with VESA 75x75 100x100mm1	1.00	\$59.99	\$59.99
C2G10378_C2G	C2G	10ft/3m Ultra Flexible HDMI Cable 4K	1.00	\$21.56	\$21.56
D4100_VIS	Visionary Solutions	A/V Decoder, 4K UHD over IP cinema quality ultra-low latency visually lossless switch matrix routabl	1.00	\$892.50	\$892.50
TSC-70-G3_QSC	QSC	Q-SYS 7 PoE Touch Screen Controller for In-Wall Mounting. Color - Black only	1.00	\$1,485.90	\$1,485.90
TSC-710t-G3_QSC	QSC	Table top mounting accessory for TSC-70-G3 and TSC-101-G3.	1.00	\$354.90	\$354.90
MISC-EXPENSE	S&L	CUSTOM WALLPLATE	1.00	\$139.03	\$139.03

COURT REPORTER DESK SUBTOTAL \$3,621.67

PRESS FEED

TX-10B_RDDL	Radio Design Labs	Bridging Input Transformer	1.00	\$58.73	\$58.73
QT-C-3694-MODEL_COV	COVID	Press out plate with 2 XLR male and mounting holes for RDL TX-10B	1.00	\$69.00	\$69.00

PRESS FEED SUBTOTAL \$127.73

WALL

SLI-LG-75	LG	LG 75" TV SKU	1.00	\$1,833.04	\$1,833.04
TS525TU_CHF	CHIEF	THIN SWING ARM (LARGE)	1.00	\$568.80	\$568.80
D4100_VIS	Visionary Solutions	A/V Decoder, 4K UHD over IP cinema quality ultra-low latency visually lossless switch matrix routabl	1.00	\$892.50	\$892.50
MISC-EXPENSE	S&L	CUSTOM WALLPLATE	1.00	\$111.94	\$111.94
SLI-LG-75	LG	LG 75" TV SKU	1.00	\$1,833.04	\$1,833.04
TS525TU_CHF	CHIEF	THIN SWING ARM (LARGE)	1.00	\$568.80	\$568.80
D4100_VIS	Visionary Solutions	A/V Decoder, 4K UHD over IP cinema quality ultra-low latency visually lossless switch matrix routabl	1.00	\$892.50	\$892.50
MISC-EXPENSE	S&L	CUSTOM WALLPLATE	1.00	\$111.94	\$111.94
CV355-10X_MRSHL	Marshall	Compact 10X Zoom 3GSDI/HDI Camera	1.00	\$975.00	\$975.00
CV355-10X_MRSHL	Marshall	Compact 10X Zoom 3GSDI/HDI Camera	1.00	\$975.00	\$975.00
CV504_MRSHL	Marshall	Miniature 3GSDI Camera	1.00	\$375.00	\$375.00
CV504_MRSHL	Marshall	Miniature 3GSDI Camera	1.00	\$375.00	\$375.00
CVM-11_MRSHL	Marshall	Articulating Arm 11	4.00	\$42.00	\$168.00
CVM-15_MRSHL	Marshall	Wall Mt. Brckt for CVM7/CVM11	4.00	\$15.00	\$60.00

WALL SUBTOTAL \$9,740.56

RACK

LS-54-072_LSTN	Listen	Listen iDSP Prime Level II Stationary RF System (72 MHz)	1.00	\$2,016.73	\$2,016.73
LA-117_LSTN	Listen	Coaxial Dipole Remote Antenna (216 MHz)	1.00	\$173.25	\$173.25
508850_SNNHPA	Sennheiser Pro Audio	SpeechLine Multi-Channel Receiver with 2 SL DW RF Links. Features Analog output with (2) Dante Inter	1.00	\$1,723.50	\$1,723.50
505901_SNNHPA	Sennheiser Pro Audio	Digital handheld transmitter, 1.9 GHz, with MME 865-1 capsule (supercardioid, condenser). Includes (2.00	\$823.50	\$1,647.00
508987_SNNHPA	Sennheiser Pro Audio	BODYPACK, network-compatible IPv4/6, including power su	1.00	\$373.50	\$373.50
PF000610_PATC	Powersoft Advanced Technologies Corp	Mezzo 604 A	1.00	\$1,267.22	\$1,267.22
CORE 110f-v2_QSC	QSC	Unified Core with 24 local audio I/O channels, 128x128 total network I/O channels with 8x8 Software-	1.00	\$3,252.60	\$3,252.60

LARGE COURTROOM SUBTOTAL \$105,802.34

LARGE COURTROOM

RACK

SLQSE-110-P_QSC	QSC	Q-SYS Core 110 Scripting Engine Software License, Perpetual.	1.00	\$362.70	\$362.70
SLQUD-110-P_QSC	QSC	Q-SYS Core 110 UCI Deployment Software License, Perpetual.	1.00	\$182.52	\$182.52
GSM4248PX-100NAS_NTGR	Netgear	NETGEAR AV Line M4250-40G8XF-PoE+ 40x1G PoE+ 960W and 8xSFP+ Managed Switch	1.00	\$3,285.00	\$3,285.00
SLI-NUCLEUS-LITE	S&L Integrated	Nucleus-Lite: Router/Domotz only	1.00	\$853.50	\$853.50
RLNK-215_MDLA	Middle Atlantic	15A,2 OUT,IP CTRL POWER	1.00	\$236.25	\$236.25
RLNK-915R_MDLA	Middle Atlantic	15A9 OUTIP CTRL POWER	2.00	\$398.25	\$796.50
P007-003-15D_TRPLT	TRIPP LITE	IEC-320-C13 TO RIGHT-ANGLED NEMA 5-15P POWER CORD RIGHT-ANGLED NEMA CONNECTOR, 1	2.00	\$9.82	\$19.64
SU1500RTXLCD2U_TRPLT	TRIPP LITE	1500VA 1350W UPS SMART ONLINE RACKMOUNT LCD 100V-120V USB 2URM	1.00	\$1,445.55	\$1,445.55
WEBCARDLXE_TRPLT	TRIPP LITE	REMOTE MANAGEMENT NETWORK CARD FOR EATON TL SERIES SMART UPS The WEBCARDLXE is designed to fit speci	1.00	\$429.94	\$429.94
RCS-2724_MDLA	Middle Atlantic	27U/24"DEEPCONFIGURED RK	1.00	\$1,217.01	\$1,217.01
FC-DC_MDLA	Middle Atlantic	FAN CONTROLLERDC	1.00	\$137.01	\$137.01
MISC-EXPENSE	S&L	CUSTOM WALLPLATE	1.00	\$1,119.40	\$1,119.40
SQ-A104771	Covid	"One-Button Restart" (Engraved plate / Button assembly) v2	1.00	\$224.88	\$224.88
RPC-15_LWLL	Lowell	Classic Remote Power Control-15A, 1 Duplex Outlet, 6ft Cord	1.00	\$127.21	\$127.21
MV0430_LEI	Lilliput Electronics Inc.	4SD/HD/3G-SDI inputs with auto detection 2SD/HD/3G-SDI and 1HDMI outputs for multi-view 11 selectabl	1.00	\$313.50	\$313.50
AC-EX70-UHD-KIT_AVP	AV Pro	HDBaseT (CAT6) Extender Kit. 10.2G, 40m 4K (70m HD) Slim Extender with I-Pass, Bi-Directional Power,	1.00	\$443.85	\$443.85
102019_WFVS	WolfVision	Cynap - Version A (HDMI)	1.00	\$9,036.00	\$9,036.00
D4100_VIS	Visionary Solutions	A/V Decoder, 4K UHD over IP cinema quality ultra-low latency visually lossless switch matrix routabl	1.00	\$892.50	\$892.50
E4100_VIS	Visionary Solutions	A/V Encoder, 4K UHD over IP cinema quality ultra-low latency visually lossless switch matrix routabl	1.00	\$892.50	\$892.50

RACK SUBTOTAL \$32,469.26

AUDIO

UBX8-WT_RNKS	Renkus-Heinz, Inc.	UBX8-WT 20 Assymetrical (+5/-15) with 5 average down tilt - White color	4.00	\$990.00	\$3,960.00
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AUDIO SUBTOTAL \$3,960.00

JAVS COURT RECORDING

JAVS		Recorder 8 Multi-channel Audio Recorder	1.00	\$2,505.56	\$2,505.56
JAVS		JAVS AutoLog 8 Logging and Control Software for JAVS Recorder 8	1.00	\$1,111.11	\$1,111.11
JAVS		Publisher 8 Session Publishing Software	1.00	\$416.67	\$416.67
JAVS		Maintenance Costs for Years 2 - 5	4.00	\$595.83	\$2,383.32
JAVS		JAVS Shipping	1.00	\$83.33	\$83.33

JAVS COURT RECORDING SUBTOTAL \$6,499.99

PROFESSIONAL SERVICES

GSC-DESIGN	S&L	Commissioning / System Engineer	39.25	\$95.00	\$3,728.75
GSC-DOCUMENT	S&L	Systems Designer / Drafter	61.50	\$55.00	\$3,382.50
GSC-INSTALLATION	S&L	Install Technician	180.00	\$70.00	\$12,600.00
GSC-PROGRAM	S&L	Systems Programmer	27.00	\$100.00	\$2,700.00
GSC-PROJMGMT	S&L	Project Manager	32.00	\$70.00	\$2,240.00
MISC-EXPENSE	S&L	Installation Hardware, Cabling and Supplies	1.00	\$5,271.00	\$5,271.00

PROFESSIONAL SERVICES SUBTOTAL \$29,922.25

LARGE COURTROOM SUBTOTAL \$105,802.34

COURTROOM 2
JUDGE'S BENCH

DG-PSP1_RDDL	Radio Design Labs	Decora-Style Active Loudspeaker - Gray - User Level Adjust	1.00	\$250.80	\$250.80
MG18HC_AUDX	Audix	MIC, POD, 18" GNECK, H-CARD, BLK, RF	1.00	\$294.63	\$294.63
ATS1_AUDX	Audix	STAND, TBL MNT, SHK ABSOR, WITH ON/OFF	1.00	\$231.94	\$231.94
PS-24AS_RDDL	Radio Design Labs	24 Vdc Switching Power Supply, North American AC Plug, 500 mA, dc Plug	1.00	\$32.12	\$32.12
ADX60_AUDX	Audix	MIC, BNDRY PLATE, CARD W/APS910 PWR ADAP	1.00	\$193.05	\$193.05
DC-1B_RDDL	Radio Design Labs	Single Desktop or Wall Mounted Chassis for Decora Remote Controls and Panels - black	1.00	\$72.48	\$72.48
CP-1B_RDDL	Radio Design Labs	Single Cover Plate - black	1.00	\$13.40	\$13.40
DuetE-2_VIS	Visionary Solutions	A/V Encoder, 4K UHD over IP cinema quality ultra-low latency visually lossless switch matrix routabl	1.00	\$1,342.50	\$1,342.50
DuetD-2_VIS	Visionary Solutions	A/V Decoder, 4K UHD over IP cinema quality ultra-low latency visually lossless switch matrix routabl	1.00	\$1,342.50	\$1,342.50
24BK430H-B	LG	24" class IPS HDR FHD Monitor	1.00	\$167.69	\$167.69
OSI_WS-03S	Wearson	Low Profile Vesa Stand All Metal Holder Sturdy with VESA 75x75 100x100mm1	1.00	\$59.99	\$59.99
C2G10378_C2G	C2G	10ft/3m Ultra Flexible HDMI Cable 4K	2.00	\$21.56	\$43.12
TSC-101-G3_QSC	QSC	Q-SYS 10.1 PoE Touch Screen Controller for In-Wall Mounting. Color - Black only	1.00	\$2,472.60	\$2,472.60
TSC-710t-G3_QSC	QSC	Table top mounting accessory for TSC-70-G3 and TSC-101-G3.	1.00	\$354.90	\$354.90
RLNK-215_MDLA	Middle Atlantic	15A2 OUTIP CTRL POWER	1.00	\$236.25	\$236.25
MISC-EXPENSE	S&L	CUSTOM WALLPLATE	1.00	\$298.51	\$298.51
VAC-12HUC_MRSHL	Marshall	HDMI to USB-C Converter (USB3.0/2.0)	1.00	\$375.00	\$375.00
TX-A2_RDDL	Radio Design Labs	Audio Converter Balanced to Unbalanced - Terminals, dual-RCA	1.00	\$124.94	\$124.94
OSI_DB6BNCHD-25	West Penn	BNC HD Comp RG6/U Double Bubble	1.00	\$63.28	\$63.28
				JUDGE'S BENCH SUBTOTAL	\$7,969.70

WITNESS STAND

DG-PSP1_RDDL	Radio Design Labs	Decora-Style Active Loudspeaker - Gray - User Level Adjust	1.00	\$250.80	\$250.80
PS-24AS_RDDL	Radio Design Labs	24 Vdc Switching Power Supply, North American AC Plug, 500 mA, dc Plug	1.00	\$32.12	\$32.12
DC-1B_RDDL	Radio Design Labs	Single Desktop or Wall Mounted Chassis for Decora Remote Controls and Panels - black	1.00	\$72.48	\$72.48
CP-1B_RDDL	Radio Design Labs	Single Cover Plate - black	1.00	\$13.40	\$13.40
MG18_AUDX	Audix	MIC, POD 18 " GNECK CARD COND, BLK	1.00	\$276.72	\$276.72
SMT1218R_AUDX	Audix	MOUNT, TABLE,FLANGE,W/RUBBER INSULATOR,	1.00	\$28.66	\$28.66
D4100_VIS	Visionary Solutions	A/V Decoder, 4K UHD over IP cinema quality ultra-low latency visually lossless switch matrix routabl	1.00	\$892.50	\$892.50
MISC-EXPENSE	S&L	CUSTOM WALLPLATE	1.00	\$139.03	\$139.03
E351600_ELO	Elo Touch Solutions	2202 TouchSc PCAP Black VGA HDMI	1.00	\$561.19	\$561.19
OSI_WS-03S	Wearson	Low Profile Vesa Stand All Metal Holder Sturdy with VESA 75x75 100x100mm1	1.00	\$59.99	\$59.99
USB2001EXTV_STRT	STARTECH.COM	CONNECT A USB 2.0 DEVICE TO YOUR COMPUTER OVER LONG DISTANCES USING THIS SINGLE-	1.00	\$158.25	\$158.25
				WITNESS STAND SUBTOTAL	\$2,485.14

CLERK'S DESK

DG-PSP1_RDDL	Radio Design Labs	Decora-Style Active Loudspeaker - Gray - User Level Adjust	1.00	\$250.80	\$250.80
PS-24AS_RDDL	Radio Design Labs	24 Vdc Switching Power Supply, North American AC Plug, 500 mA, dc Plug	1.00	\$32.12	\$32.12
DC-1B_RDDL	Radio Design Labs	Single Desktop or Wall Mounted Chassis for Decora Remote Controls and Panels - black	1.00	\$72.48	\$72.48
CP-1B_RDDL	Radio Design Labs	Single Cover Plate - black	1.00	\$13.40	\$13.40

CLERK'S DESK

MG18HC_AUDX	Audix	MIC, POD, 18" GNECK, H-CARD, BLK, RF	1.00	\$294.63	\$294.63
ATS1_AUDX	Audix	STAND, TBL MNT, SHK ABSOR, WITH ON/OFF	1.00	\$231.94	\$231.94
MISC-EXPENSE	S&L	CUSTOM WALLPLATE	1.00	\$139.03	\$139.03
CLERK'S DESK SUBTOTAL					\$1,034.40

EVIDENCE PRESENTATION

MG18HC_AUDX	Audix	MIC, POD, 18" GNECK, H-CARD, BLK, RF	1.00	\$294.63	\$294.63
ATS1_AUDX	Audix	STAND, TBL MNT, SHK ABSOR, WITH ON/OFF	1.00	\$231.94	\$231.94
DuetE-2_VIS	Visionary Solutions	A/V Encoder, 4K UHD over IP cinema quality ultra-low latency visually lossless switch matrix routabl	1.00	\$1,342.50	\$1,342.50
RLNK-215_MDLA	Middle Atlantic	15A2 OUTIP CTRL POWER	1.00	\$236.25	\$236.25
MISC-EXPENSE	S&L	CUSTOM WALLPLATE	1.00	\$139.03	\$139.03
PD3003BKL_AVF	AVF	Economy Podium	1.00	\$1,367.16	\$1,367.16
RMT14_AVF	AVF	14RU RR Frame Retrofit Kit	1.00	\$146.27	\$146.27
HCD_HVCM	HoverCam	HoverCam DUO - HDMI, VGA, USB 3.0, 12MP	1.00	\$898.50	\$898.50
C2G10378_C2G	C2G	10ft/3m Ultra Flexible HDMI Cable 4K	2.00	\$21.56	\$43.12
E351600_ELO	Elo Touch Solutions	2202 TouchSc PCAP Black VGA HDMI	1.00	\$561.19	\$561.19
OSI_WS-03S	Wearson	Low Profile Vesa Stand All Metal Holder Sturdy with VESA 75x75 100x100mm1	1.00	\$59.99	\$59.99
USB2001EXTV_STRT	STARTECH.COM	CONNECT A USB 2.0 DEVICE TO YOUR COMPUTER OVER LONG DISTANCES USING THIS SINGLE-	1.00	\$158.25	\$158.25
D4100_VIS	Visionary Solutions	A/V Decoder, 4K UHD over IP cinema quality ultra-low latency visually lossless switch matrix routabl	1.00	\$892.50	\$892.50
EVIDENCE PRESENTATION SUBTOTAL					\$6,371.33

JURY BOX

MG18HC_AUDX	Audix	MIC, POD, 18" GNECK, H-CARD, BLK, RF	1.00	\$294.63	\$294.63
SMT1218R_AUDX	Audix	MOUNT, TABLE,FLANGE,W/RUBBER INSULATOR,	1.00	\$28.66	\$28.66
JURY BOX SUBTOTAL					\$323.29

LAWYER TABLE LEFT

MG18HC_AUDX	Audix	MIC, POD, 18" GNECK, H-CARD, BLK, RF	1.00	\$294.63	\$294.63
ATS1_AUDX	Audix	STAND, TBL MNT, SHK ABSOR, WITH ON/OFF	1.00	\$231.94	\$231.94
MISC-EXPENSE	S&L	CUSTOM WALLPLATE	1.00	\$111.94	\$111.94
LAWYER TABLE LEFT SUBTOTAL					\$638.51

LAWYER TABLE RIGHT

MG18HC_AUDX	Audix	MIC, POD, 18" GNECK, H-CARD, BLK, RF	1.00	\$294.63	\$294.63
ATS1_AUDX	Audix	STAND, TBL MNT, SHK ABSOR, WITH ON/OFF	1.00	\$231.94	\$231.94
MISC-EXPENSE	S&L	CUSTOM WALLPLATE	1.00	\$111.94	\$111.94
LAWYER TABLE RIGHT SUBTOTAL					\$638.51

COURT REPORTER DESK

USB2001EXTV_STRT	STARTECH.COM	CONNECT A USB 2.0 DEVICE TO YOUR COMPUTER OVER LONG DISTANCES USING THIS SINGLE-	1.00	\$158.25	\$158.25
DB-SH1_RDDL	Radio Design Labs	Stereo Headphone Amplifier - Decora panel with user level control - Black	1.00	\$204.06	\$204.06
PS-24AS_RDDL	Radio Design Labs	24 Vdc Switching Power Supply, North American AC Plug, 500 mA, dc Plug	1.00	\$32.12	\$32.12
DC-2B_RDDL	Radio Design Labs	Double Desktop or Wall Mounted Chassis for Decora Remote Controls and Panels - black	1.00	\$91.10	\$91.10
CP-2B_RDDL	Radio Design Labs	Double Cover Plate - black	1.00	\$14.57	\$14.57
24BK430H-B	LG	24" class IPS HDR FHD Monitor	1.00	\$167.69	\$167.69
OSI_WS-03S	Wearson	Low Profile Vesa Stand All Metal Holder Sturdy with VESA 75x75 100x100mm1	1.00	\$59.99	\$59.99
C2G10378_C2G	C2G	10ft/3m Ultra Flexible HDMI Cable 4K	1.00	\$21.56	\$21.56
COURTROOM 2 SUBTOTAL					\$103,839.14

COURT REPORTER DESK

D4100_VIS	Visionary Solutions	A/V Decoder, 4K UHD over IP cinema quality ultra-low latency visually lossless switch matrix routabl	1.00	\$892.50	\$892.50
TSC-70-G3_QSC	QSC	Q-SYS 7 PoE Touch Screen Controller for In-Wall Mounting. Color - Black only	1.00	\$1,485.90	\$1,485.90
TSC-710t-G3_QSC	QSC	Table top mounting accessory for TSC-70-G3 and TSC-101-G3.	1.00	\$354.90	\$354.90
MISC-EXPENSE	S&L	CUSTOM WALLPLATE	1.00	\$139.03	\$139.03

COURT REPORTER DESK SUBTOTAL \$3,621.67

PRESS FEED

TX-10B_RDDL	Radio Design Labs	Bridging Input Transformer	1.00	\$58.73	\$58.73
QT-C-3694-MODEL_COV	COVID	Press out plate with 2 XLR male and mounting holes for RDL TX-10B	1.00	\$69.00	\$69.00

PRESS FEED SUBTOTAL \$127.73

WALL

SLI-LG-75	LG	LG 75" TV SKU	1.00	\$1,833.04	\$1,833.04
TS525TU_CHF	CHIEF	THIN SWING ARM (LARGE)	1.00	\$568.80	\$568.80
D4100_VIS	Visionary Solutions	A/V Decoder, 4K UHD over IP cinema quality ultra-low latency visually lossless switch matrix routabl	1.00	\$892.50	\$892.50
MISC-EXPENSE	S&L	CUSTOM WALLPLATE	1.00	\$111.94	\$111.94
SLI-LG-75	LG	LG 75" TV SKU	1.00	\$1,833.04	\$1,833.04
TS525TU_CHF	CHIEF	THIN SWING ARM (LARGE)	1.00	\$568.80	\$568.80
D4100_VIS	Visionary Solutions	A/V Decoder, 4K UHD over IP cinema quality ultra-low latency visually lossless switch matrix routabl	1.00	\$892.50	\$892.50
MISC-EXPENSE	S&L	CUSTOM WALLPLATE	1.00	\$111.94	\$111.94
CV355-10X_MRSHL	Marshall	Compact 10X Zoom 3GSDI/HDI Camera	1.00	\$975.00	\$975.00
CV355-10X_MRSHL	Marshall	Compact 10X Zoom 3GSDI/HDI Camera	1.00	\$975.00	\$975.00
CV504_MRSHL	Marshall	Miniature 3GSDI Camera	1.00	\$375.00	\$375.00
CV504_MRSHL	Marshall	Miniature 3GSDI Camera	1.00	\$375.00	\$375.00
CVM-11_MRSHL	Marshall	Articulating Arm 11	4.00	\$42.00	\$168.00
CVM-15_MRSHL	Marshall	Wall Mt. Brckt for CVM7/CVM11	4.00	\$15.00	\$60.00

WALL SUBTOTAL \$9,740.56

RACK

LS-54-072_LSTN	Listen	Listen iDSP Prime Level II Stationary RF System (72 MHz)	1.00	\$2,016.73	\$2,016.73
LA-117_LSTN	Listen	Coaxial Dipole Remote Antenna (216 MHz)	1.00	\$173.25	\$173.25
508850_SNNHPA	Sennheiser Pro Audio	SpeechLine Multi-Channel Receiver with 2 SL DW RF Links. Features Analog output with (2) Dante Inter	1.00	\$1,723.50	\$1,723.50
505901_SNNHPA	Sennheiser Pro Audio	Digital handheld transmitter, 1.9 GHz, with MME 865-1 capsule (supercardioid, condenser). Includes (2.00	\$823.50	\$1,647.00
508987_SNNHPA	Sennheiser Pro Audio	2-compartment charger for SL HANDHELD and SL BODYPACK, network-compatible IPv4/6, including power su	1.00	\$373.50	\$373.50
PF000610_PATC	Powersoft Advanced Technologies Corp	Mezzo 604 A	1.00	\$1,267.22	\$1,267.22
CORE 110f-v2_QSC	QSC	Unified Core with 24 local audio I/O channels, 128x128 total network I/O channels with 8x8 Software-	1.00	\$3,252.60	\$3,252.60
SLQSE-110-P_QSC	QSC	Q-SYS Core 110 Scripting Engine Software License, Perpetual.	1.00	\$362.70	\$362.70
SLQUD-110-P_QSC	QSC	Q-SYS Core 110 UCI Deployment Software License, Perpetual.	1.00	\$182.52	\$182.52
GSM4248PX-100NAS_NTGR	Netgear	NETGEAR AV Line M4250-40G8XF-PoE+ 40x1G PoE+ 960W and 8xSFP+ Managed Switch	1.00	\$3,285.00	\$3,285.00
SLI-NUCLEUS-LITE	S&L Integrated	Nucleus-Lite: Router/Domotz only	1.00	\$853.50	\$853.50
RLNK-215_MDLA	Middle Atlantic	15A,2 OUT,IP CTRL POWER	1.00	\$236.25	\$236.25
RLNK-915R_MDLA	Middle Atlantic	15A9 OUTIP CTRL POWER	2.00	\$398.25	\$796.50

COURTROOM 2 SUBTOTAL \$103,839.14

RACK

P007-003-15D_TRPLT	TRIPP LITE	IEC-320-C13 TO RIGHT-ANGLED NEMA 5-15P POWER CORD RIGHT-ANGLED NEMA CONNECTOR, 1	2.00	\$9.82	\$19.64
SU1500RTXLCD2U_TRP LT	TRIPP LITE	1500VA 1350W UPS SMART ONLINE RACKMOUNT LCD 100V-120V USB 2URM	1.00	\$1,445.55	\$1,445.55
WEBCARDLXE_TRPLT	TRIPP LITE	REMOTE MANAGEMENT NETWORK CARD FOR EATON TL SERIES SMART UPS The WEBCARDLXE is designed to fit speci	1.00	\$429.94	\$429.94
RCS-2724_MDLA	Middle Atlantic	27U/24"DEEPCONFIGURED RK	1.00	\$1,217.01	\$1,217.01
FC-DC_MDLA	Middle Atlantic	FAN CONTROLLERDC	1.00	\$137.01	\$137.01
MISC-EXPENSE	S&L	CUSTOM WALLPLATE	1.00	\$1,119.40	\$1,119.40
SQ-A104771	Covid	"One-Button Restart" (Engraved plate / Button assembly) v2	1.00	\$224.88	\$224.88
RPC-15_LWLL	Lowell	Classic Remote Power Control-15A, 1 Duplex Outlet, 6ft Cord	1.00	\$127.21	\$127.21
MV0430_LEI	Lilliput Electronics Inc.	4SD/HD/3G-SDI inputs with auto detection 2SD/HD/3G-SDI and 1HDMI outputs for multi-view 11 selectabl	1.00	\$313.50	\$313.50
AC-EX70-UHD-KIT_AVP	AV Pro	HDBaseT (CAT6) Extender Kit. 10.2G, 40m 4K (70m HD) Slim Extender with I-Pass, Bi-Directional Power,	1.00	\$443.85	\$443.85
102019_WFVS	WolfVision	Cynap - Version A (HDMI)	1.00	\$9,036.00	\$9,036.00
D4100_VIS	Visionary Solutions	A/V Decoder, 4K UHD over IP cinema quality ultra-low latency visually lossless switch matrix routabl	1.00	\$892.50	\$892.50
E4100_VIS	Visionary Solutions	A/V Encoder, 4K UHD over IP cinema quality ultra-low latency visually lossless switch matrix routabl	1.00	\$892.50	\$892.50
				RACK SUBTOTAL	\$32,469.26

CEILING

AC-C6T_QSC	QSC	6.5" Two-way ceiling speaker, 70/100V transformer with 8 bypass, 110 conical coverage, includes C-ri	4.00	\$124.80	\$499.20
AC-C6T_QSC	QSC	6.5" Two-way ceiling speaker, 70/100V transformer with 8 bypass, 110 conical coverage, includes C-ri	4.00	\$124.80	\$499.20
AC-C6T_QSC	QSC	6.5" Two-way ceiling speaker, 70/100V transformer with 8 bypass, 110 conical coverage, includes C-ri	4.00	\$124.80	\$499.20
AC-C6T_QSC	QSC	6.5" Two-way ceiling speaker, 70/100V transformer with 8 bypass, 110 conical coverage, includes C-ri	4.00	\$124.80	\$499.20
				CEILING SUBTOTAL	\$1,996.80

JAVS COURT RECORDING

JAVS	Recorder 8 Multi-channel Audio Recorder	1.00	\$2,505.56	\$2,505.56	
JAVS	JAVS AutoLog 8 Logging and Control Software for JAVS Recorder 8	1.00	\$1,111.11	\$1,111.11	
JAVS	Publisher 8 Session Publishing Software	1.00	\$416.67	\$416.67	
JAVS	Maintenance Costs for Years 2 - 5	4.00	\$595.83	\$2,383.32	
JAVS	JAVS Shipping	1.00	\$83.33	\$83.33	
				JAVS COURT RECORDING SUBTOTAL	\$6,499.99

PROFESSIONAL SERVICES

GSC-DESIGN	S&L	Commissioning / System Engineer	39.25	\$95.00	\$3,728.75
GSC-DOCUMENT	S&L	Systems Designer / Drafter	61.50	\$55.00	\$3,382.50
GSC-INSTALLATION	S&L	Install Technician	180.00	\$70.00	\$12,600.00
GSC-PROGRAM	S&L	Systems Programmer	27.00	\$100.00	\$2,700.00
GSC-PROJMGMT	S&L	Project Manager	32.00	\$70.00	\$2,240.00
MISC-EXPENSE	S&L	Installation Hardware, Cabling and Supplies	1.00	\$5,271.00	\$5,271.00
				PROFESSIONAL SERVICES SUBTOTAL	\$29,922.25
				COURTROOM 2 SUBTOTAL	\$103,839.14

ALL SYSTEMS

PROFESSIONAL SERVICES

TRAVEL	S&L	Travel Time	1.00	\$16,008.37	\$16,008.37
PROFESSIONAL SERVICES SUBTOTAL					\$16,008.37
ALL SYSTEMS SUBTOTAL					\$16,008.37
QUOTE SUBTOTAL					\$225,649.85

CLIENT CARE

PART NUMBER	MANUFACTURER	DESCRIPTION	QTY	UNIT PRICE	TOTAL PRICE
SLI-1YRCC	S&L Integrated	1 Year Client Care	5.00	\$9,369.24	\$46,846.20
GSC_WARRANTY	S&L Integrated	180 Day Workmanship Warranty For GSC	1.00	\$0.00	\$0.00
TOTAL CLIENT CARE					\$46,846.20

All applicable sales tax extra.

Payment Terms & Special Notes

Payment Terms

Payment shall be remitted as follows unless pre-authorized by S&L: 50% Deposit at the time of proposal acceptance; 40% Due when installation begins; 10% Due at project completion

Terms and Conditions

Prices are based upon total purchase as a package. Sales tax quoted is for estimating purposes only. Actual sales tax will be calculated at time of invoicing. There is a minimum 15% restocking fee with original packaging on any returns. The general project description is contained in the Scope of Work (SOW). S&L shall install the specified systems as described in the SOW. No additional work shall be performed outside of the SOW, except where a proposal or change order has been issued by S&L and signed by the customer. Technicians are not authorized to agree to any work outside of the approved SOW and S&L is not bound by any statements or arrangements that are not approved in writing by both parties. All work must be authorized through the Project Manager or Account Executive only. Any required completion dates of this SOW is subject to the Client's timely acceptance of this proposal and manufacturer lead times. Customer agrees to pay S&L for the services rendered in accordance with the SOW and any authorized Change Orders. Payment shall be remitted in accordance to agreed upon terms. Progress payments will be made according to the payment schedule if one has been defined in the proposal. Final billing from S&L shall be submitted to Customer after completion of the SOW. Complete and Final payments made under this Agreement shall be conclusive evidence of the satisfactory performance of the SOW and acceptance of work and materials. Additionally, it is the responsibility of the Client to review and comply with the general terms and conditions applicable to all projects, which can be found at www.slintegrated.com/terms-and-conditions/

Purchased Equipment:	\$160,338.98
Installation Services:	\$65,310.87
Shipping and Handling:	\$0.00
Client Care:	\$46,846.20
<hr/>	
Subtotal:	\$272,496.05
Tax:	\$0.00
Total:	\$272,496.05

This Quote shall become binding on the parties here to when signed by Subscriber and accepted and approved by S&L Integrated Systems, LLC. By Customer's signature, Customer acknowledges that they have read, understood and agreed to S&L Integrated Systems, LLC Terms and Conditions within this proposal /sales order, in addition to the general terms and conditions applicable to all projects that can be found at www.slintegrated.com/terms-and-conditions/.

IF YOU WISH TO ACCEPT THIS PROPOSAL AND RELATED STATEMENT OF WORK, PLEASE SIGN AND RETURN

BUYER: _____ SIGNATURE: _____ DATE: _____
(Print Name)

Per Circuit Request, No materials will be ordered until after the Circuit submits a Deposit Reimbursement Request and receives payment from the State.



WHITE COUNTY

Board of Commissioners

Item Title: Coroner Budget (Budget)

For Meeting Date: 3/25/2024

Work Session **Regular Meeting** **Public Hearing**

Category (Select One): Other

Submitted By: Shanda Murphy @ Request of Chairman Turner

Attachments: Yes **If yes, please list each file name below:**

1. Coroner FY 24 Salary Calculation Approved by BOC
2. Coroner's FY 24 Budget
3. _____

Purpose:

To consider a \$2,000.00 increase to the Coroner's annual salary effective April 2024.

Background / Summary:

- Current budget for Coroner is based on the following salaries - Coroner @ \$30,739.94 which was effective 07/01/2023. This increased to \$32,739.94 on 01/01/2024 due to state set COLA. Mr. Barrett has discussed with members of the BOC that the local supplement should have been \$2,000.00 more than approved in the FY 24 budget.
- If the Coroner's salary is increased by \$2,000.00 effective 04/01/2024 - this will bring the salary to \$34,739.94 which will set the local supplement at \$22,000.00.
- In speaking with Jodi Ligon, with 3 monthly payrolls remaining - the difference will not be significant enough (less than \$2,000.00) to require a budget amendment

Department Recommendation:

The BOC would consider whether to increase the coroner's pay by increasing the local supplement to \$22,000.00, however a budget amendment would not be required.

Options:

- Approve Increase
- Deny Increase

Budget Information: Applicable Not Applicable

Budgeted: Yes No

Finance Director's Comments (if applicable):

- General Fund Budget Amendment not needed for an amount less than \$2,000.00.

County Manager Comments:

-

Shanda Murphy

From: Shanda Murphy
Sent: Tuesday, April 18, 2023 3:49 PM
To: Craig Bryant; Edwin Nix; Lyn Holcomb; Terry Goodger; Travis Turner
Cc: Krystal Talley; Jodi Ligon
Subject: Coroner Pay Calculation

Based on the discussions today and what I understood the Board wanted to accomplish, this is what I would recommend for the Coroner's salary calculation – implementing a local supplement of \$20,000.00.

Thank you -

Ricky Barrett - Coroner

Base Per OCGA			\$3,600.00
Longevity		25.00%	\$4,500.00
2002	COLA	3.50%	\$4,657.50
2003	COLA	2.25%	\$4,762.29
2004	COLA	0	\$4,762.29
2005	COLA	2%	\$4,857.54
2006	COLA	2%	\$4,954.69
2007	COLA	2.89%	\$5,097.88
2008	COLA	3%	\$5,250.82
2009	COLA	0%	\$5,250.82
2010	COLA	0	\$5,250.82
2011	COLA	0	\$5,250.82
2012	COLA	0	\$5,250.82
2013	COLA	0	\$5,250.82
2014	COLA	0	\$5,250.82
2015	COLA	1%	\$5,303.33
2016	COLA	1%	\$5,356.36
2017	COLA	3%	\$5,517.05
2018	COLA	2%	\$5,627.39
2019	COLA	0%	\$5,627.39
2020	COLA	2%	\$5,739.94
2021	COLA	0%	\$5,739.94
2022	COLA	0%	\$5,739.94
2023	COLA	\$5,000	\$10,739.94
Local Supplement		\$20,000	\$30,739.94

Longevity for 5 terms (4 yr terms)

2001, 2002, 2003, 2004

2005, 2006, 2007, 2008

2009, 2010, 2011, 2012

2013, 2014, 2015, 2016

2017, 2018, 2019, 2020

at max - 25%

Currently serving a 4 year term

2021, 2022, 2023, 2024

Shanda L. Murphy

County Clerk & Human Resources Director

1235 Helen Hwy

Cleveland, GA 30528

706-865-2235 - Phone

706-865-1324 - Fax

Fund 100 GENERAL FUND	Department 220 CORONER	FY2021 Amended Budget	FY2022 Approved Budget	FY2022 Amended Budget	FY2023 Approved Budget	FY2023 Amended Budget	FY2024 Approved Budget	Expanded & New
Expenses								
220.51.1100.000	SALARIES & WAGES	16,852.00	17,360.00	17,360.00	20,360.00	20,360.00	45,740.00	Coroner&DepCoroner Increase
220.51.1120.000	HEALTH INSURANCE PREMIUMS	19,387.00	20,068.00	20,068.00	20,302.00	23,449.00	24,079.00	
220.51.1121.000	HEALTH INSURANCE ADMIN							
220.51.1122.000	LIFE INSURANCE PREMIUM	26.00	27.00	27.00	27.00	27.00	74.00	
220.51.1123.000	VISION PREMIUMS	69.00	69.00	69.00	78.00	78.00	78.00	
220.51.1125.000	LONG TERM DISABILITY							
220.51.1126.000	DENTAL INS PREMIUM	362.00	367.00	367.00	390.00	390.00	390.00	
220.51.1130.000	SOCIAL SECURITY	1,289.00	1,328.00	1,328.00	1,558.00	1,558.00	3,499.00	
220.51.1140.000	MEDICARE	0.00	0.00	0.00	0.00	0.00		
220.51.1150.000	RETIREMENT CONTRIBUTIONS	760.00	795.00	795.00	795.00	795.00	2,152.00	
220.51.1170.000	WORKERS COMPENSATION PREM	449.00	423.00	423.00	537.00	537.00	1,020.00	
220.52.2105.000	DUES - PROF	225.00	225.00	225.00	300.00	300.00	600.00	
220.52.2115.000	INSURANCE-LIABILITY	566.00	800.00	800.00	1,385.00	1,766.00	1,766.00	
220.52.2120.000	LEASES - EQUIP > 12 MONTHS		1,400.00	1,400.00	1,392.00	1,392.00	1,400.00	
220.52.2155.000	TRAINING & PROF DEVEL	1,080.00	1,080.00	1,080.00	1,300.00	1,300.00	1,300.00	
220.52.2160.000	TRAVEL	1,800.00	1,800.00	1,800.00	3,000.00	3,000.00	3,000.00	
220.52.2200.000	PROF SERVICES-ATTORNEY	100.00	100.00	100.00	100.00	100.00	100.00	
220.52.2220.000	PROF SERVICES - MEDICAL	4,825.00	4,825.00	4,825.00	4,825.00	4,825.00	4,825.00	
220.52.2221.000	PROF SERVICES - MEDICAL WASTE	300.00	300.00	300.00	300.00	300.00	300.00	
220.52.2222.000	PROF SERVICES - GOWITT	4,775.00	4,775.00	4,775.00	4,775.00	4,775.00	5,500.00	
220.52.2225.000	PROF SERVICES - OTHER	3,000.00	4,000.00	4,000.00	4,000.00	4,000.00	4,000.00	
220.52.2300.000	CONTRACTED CORONER							
220.52.2310.000	FACILITIES REPAIR & MAINTENANCE						500.00	
220.52.2350.000	MAINTENANCE AGREEMENTS	500.00	500.00	500.00	500.00	500.00	500.00	
220.52.2335.000	INQUEST JURY FEES	250.00	250.00	250.00	250.00	250.00	250.00	
220.52.2500.000	VEHICLE REPAIRS & MAINENANCE	500.00	1,000.00	1,000.00	1,000.00	1,000.00	1,000.00	
220.53.3120.000	SUPPLIES - NETWORK	300.00	300.00	300.00	300.00	300.00	300.00	
220.53.3130.000	SUPPLIES - OTHER OPERATIONAL	2,000.00	2,000.00	2,000.00	2,000.00	2,000.00	3,500.00	
220.53.3140.000	SUPPLIES - OFFICE	800.00	800.00	800.00	800.00	800.00	800.00	
220.53.3220.000	GAS, OIL LUBRICANTS	800.00	800.00	800.00	1,000.00	1,000.00	1,000.00	
220.53.3230.000	POSTAGE & FREIGHT	50.00	50.00	50.00	50.00	50.00	50.00	
220.53.3240.000	SUBSCRIPTIONS & PUBLICATIONS							
220.53.3255.000	TELEPHONE	700.00	700.00	700.00	550.00	550.00	500.00	
220.53.3257.000	TIRES							
220.53.3300.000	EQUIPMENT LESS THAN \$5000	1,500.00	1,500.00	1,500.00	1,500.00	1,500.00	1,500.00	
220.54.4100.000	CAPITAL OUTLAY - EQUIPMENT							
Expenses Total		63,265.00	67,642.00	67,642.00	73,374.00	76,902.00	109,723.00	

Classification / Compensation Study

- The county's last compensation study was done in 2004
- In 2023, the Board of Commissioners approved for staff to seek proposals for a Class/Comp Study
- Following a thorough review – Condrey & Associates (Athens, GA) was recommended and approved to conduct this study.



The Process

- Human Resources Staff provided the initial information needed to begin the process
- Condrey & Associates conducted an orientation with the Elected Officials & Department Head
- Elected Officials, Department Heads, and All Employees completed questionnaires related to each position
- 50% of county employees & all Elected Officials & Department Heads were interviewed
- Condrey & Associates updated all job descriptions
- All positions were rated using the Factor Evaluation System (FES) which uses 10 weighted factors of evaluation: *Knowledge Required for the Job, Supervisory Controls, Guidelines, Complexity, Scope & Effect, Personal Contacts, Purpose of Contacts, Physical Demands, Work Environment, and Supervisory Responsibility.*
- Condrey & Associates gathered salary data from 14 different jurisdictions for comparison
- All positions were assigned a grade on the salary scale (1-25) based on rating of the FES, the salary survey, and overall organizational relationships within the government structure.